

UPPER TOWNSHIP

Form-Based Code

May 11, 2010

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The original of this report was signed and sealed in accordance with NJSA 45:14A-12.

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- Shelley Lea, Planning Board Secretary
- Dean Marcolongo, Board Solicitor
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INTRODUCTION

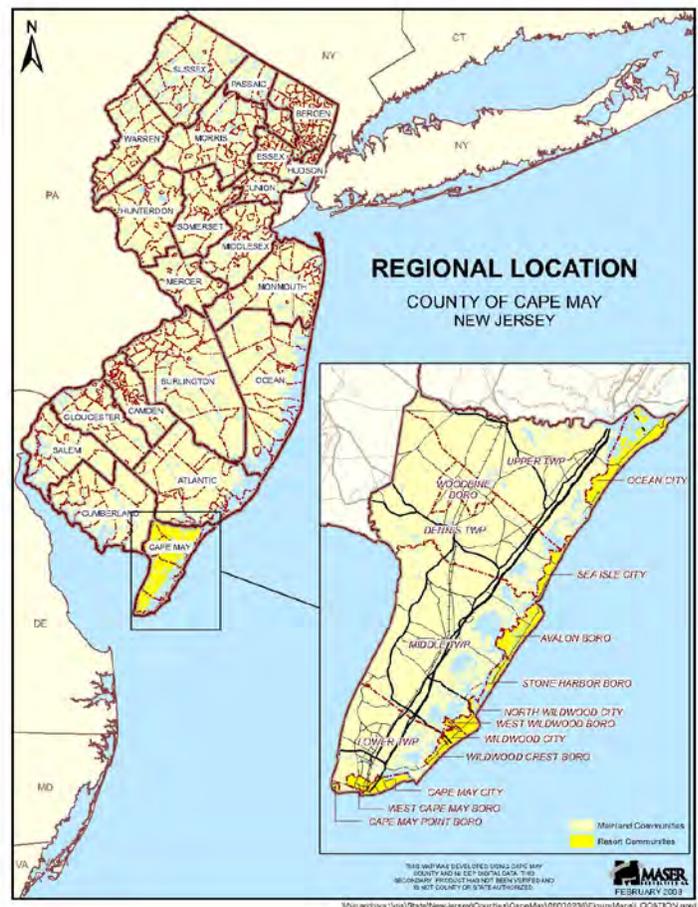
Upper Township received a \$50,000 grant from the New Jersey Office of Smart Growth (NJOSG) to prepare Form-Based Code guidelines for the core area of two of the Township's designated Centers – Marmora and Seaville, which are located along State Route 9 (SR 9). The Township hired Maser Consulting, PA (Maser) to work with an Advisory Committee of Township officials to prepare the guidelines. The NJOSG grant required that the process thoroughly engage the public in a phased participation process, first assessing existing conditions, then generating design concepts through workshops, and finally preparing the guidelines so that the public understands the document, its significance and basis.

Location

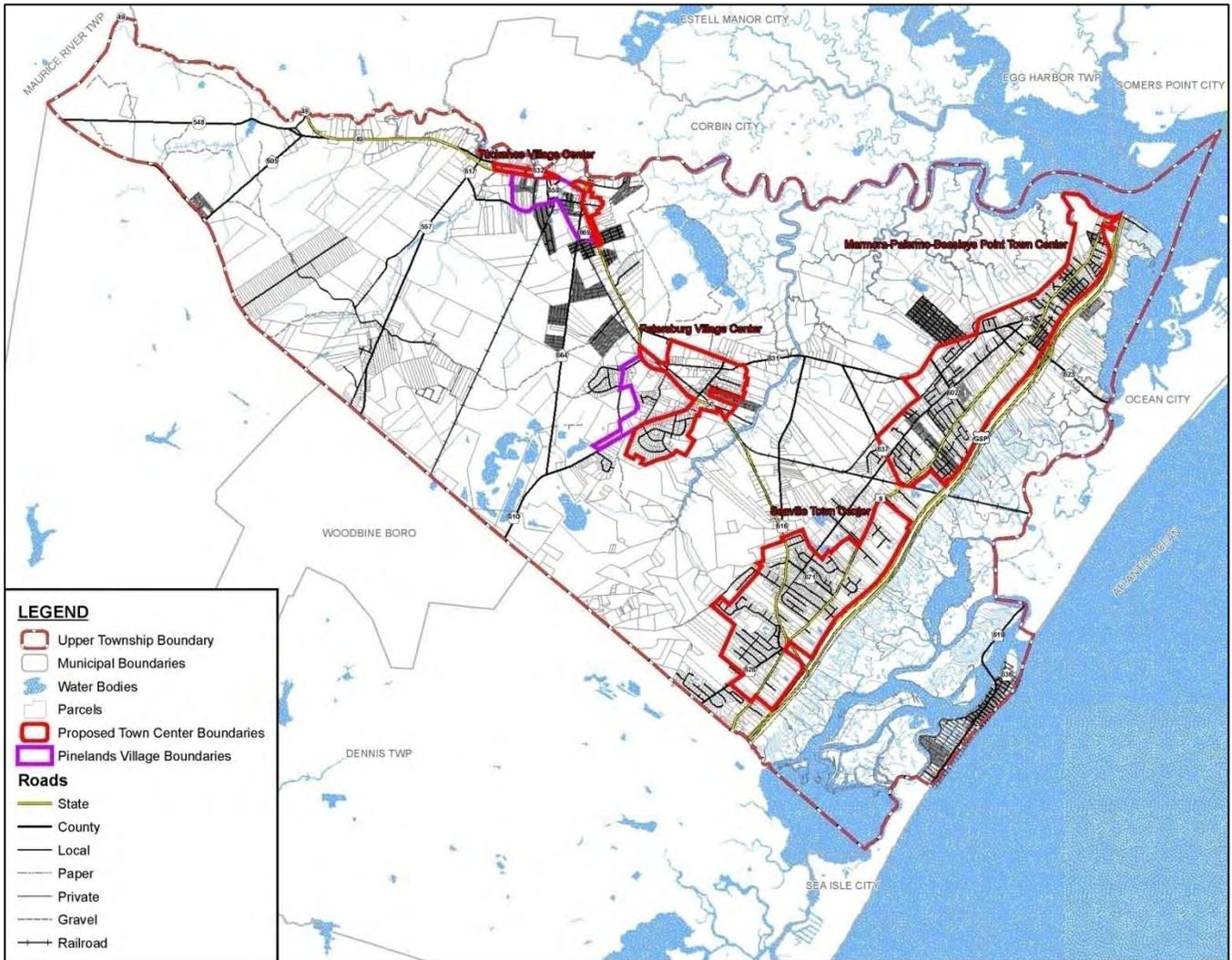
Upper Township is located at the northern end of Cape May County, which occupies a peninsula at the southern tip of the State of New Jersey, where it adjoins Atlantic and Cumberland Counties. The Township, incorporated in 1798, occupies a land area of approximately 68.5 square miles (or 43,830 acres). Within Cape May County, Upper Township is bordered by Dennis Township and Woodbine Borough to the south and Sea Isle City and Ocean City to the east. Upper is also bordered by Maurice River Township in Cumberland County to the west and Corbin City, Egg Harbor Township and Somers Point City in Atlantic County to the north. The Atlantic Ocean and inter-coastal waterways also border the municipality to the east. Major roadways that run through Upper Township include the Garden State Parkway (Parkway), SR 9 and State Route 49 (SR 49) and State Route 50 (SR 50).

Upper Township is completely encompassed within either the New Jersey Department of Environmental Protection ("NJDEP") Coastal Zone, subject to the Coastal Area Facility Review Act (CAFRA) - N.J.S.A. 13:19, or the Pinelands Management Area, subject to the Pinelands Protection Act - N.J.S.A. 13:18A. Approximately 46.2 square miles of Upper Township are located within the Coastal Zone; the remaining 22.3 square miles are within the Pinelands Management Area. The dividing line runs along SR 49, SR 50 and County Route 610. Approximately 33.7 square miles of the Coastal Zone are overlapped by the Pinelands National Reserve.

The Township has public water in portions of the Marmora-Palermo-Beesley's Point Town Center and Seaville Town Center, but there is limited sewer serving the power plant in Beesely's Point.



The Township has a total of four State-designated centers – Marmora-Palermo-Beesley’s Point Town Center, Seaville Town Center, Tuckahoe Village and Petersburg Village. Upper Township also has two Pinelands Villages – Tuckahoe and Petersburg. The map below shows the location of all the Centers.



Designated Centers Map

The Study

The process of creating a Form-Based Code for the Town Centers was supported and recommended by the 2006 Land Use Element Amendment of the Master Plan. Upper Township decided to pursue the NJOSG Form-Based Code grant as it would implement the land use objectives delineated in the Land Use Element. The NJOSG grant process is only able to focus on the core areas of the Marmora-Palermo-Beesley’s Point Town Center and Seaville Town Center due to limited funding. It is hoped that in the future, the municipality could apply for another grant to complete a Form-Based Code for the Villages of Tuckahoe and Petersburg.

Marmora, Palermo, Beesley’s Point Town Center (Marmora)

This Center consists of three distinct areas – Marmora, Palermo and Beesley’s Point, which are linked north/south by SR 9 from the Great Egg Harbor River and the SR 9 Bridge southward. The Garden State Parkway (Parkway) forms the eastern edge of this Center. The northern boundary is the Great Egg Harbor River. Butter Road is located at the southern boundary of this Center. The western edge is variable. North of Roosevelt Boulevard (County Route 623), the boundary is the railroad right-of-way south of Route 623; the western boundary includes developed residential neighborhoods adjacent to Stagecoach Road (CR 667). County Route 623 provides full access to the Garden State Parkway at Exit 25 with a park and ride lot at the northwest side of the interchange.



The Marmora Town Center totals 2,118 acres or 3.4 square miles in area. Currently there are about 3,500 persons living within the boundaries of the Center. The residential areas are located mainly in Beesley’s Point and Palermo, while the residential homes in Marmora are located along the edges. The Marmora Town Center has a mixture of retail commercial and office/service uses including a large Verizon office facility, a new Shop Rite shopping center, vacated auto dealerships, a Wawa, medical and business offices, etc. Most of the retail buildings are small one-story structures. There are also three private campgrounds and the Pine Hill Mobile Home Park located within the Center; all have access to SR 9.



The Marmora Town Center core is centered at the Tuckahoe Road (CR 631) and SR 9 intersection. The core of the Center has numerous opportunities for infill development and redevelopment. For example, the recent closure of the three car dealerships provides a potential opportunity for private redevelopment. There are other vacant lands and underutilized properties that may likewise be privately redeveloped within this Center.



This core area of the Center is not currently conducive to pedestrian activity and is not a ‘walkable’ Center due to limited sections of sidewalk. There are no integrated design elements that visually coordinate the diverse buildings in the Center. Most of the development is small in scale and setback from the roads with parking in front. There are limited or no interconnections between uses and most are directly accessed via SR 9. Marmora suffers from a limited road network, with SR 9 being the main

north-south roadway. Additionally, Exit 25 of the Parkway is the only full interchange in Upper Township, which intersects with Roosevelt Boulevard. Therefore, drivers headed south to Seaville must exit in Marmora and drive south on SR 9.

There currently is public water serving this Center through New Jersey American Water including portions of Beesley's Point and Marmora along SR 9 and Stagecoach Road (CR 667). There is no public sewer except for a limited sewerage treatment facility serving the B.L. England facility. It should be noted that community wastewater treatment facilities are permitted within the Center, which will permit the higher level of development planned for the Town Centers.

Seaville Town Center (Seaville)

The Seaville Town Center is centered at the SR 50 and SR 9 intersection. Exit 20 of the Parkway provides the only southbound exit and entrance ramps to the Parkway at this point linking to SR 50 and SR 9. The Seaville Town Center extends along the SR 9 corridor beginning about 2,000 feet south of Butter Road southerly to within ½ mile from the Dennis Township municipal boundary. The Seaville Center extends from the Parkway westward with Peach Orchard Road and Cambridge Road forming the western-most boundaries. At its widest point from SR 9, the Seaville Center is about 1½ miles in width. The Seaville Center totals 1,800 acres or 2.9 square miles in area. Currently there are about 3,300 persons living within the boundaries of the Center.



The Seaville Town Center core is located at the SR 50 and SR 9 intersection, where the major shopping center is located that includes an Acme supermarket, Peebles Department Store and other retail commercial/service uses. Residential neighborhoods are on either side of SR 9. There are some commercial lots that have older structures that are underutilized for the area and will eventually be privately redeveloped.



Seaville's Town Center core suffers from a partial Parkway interchange – drivers can only exit the Parkway going north and get on the Parkway going south. Once again SR 9 is the main north-south roadway that bears the burden of summertime traffic. Corson Tavern Road (CR 628) is a two-lane roadway that connects Seaville to South Seaville in Dennis Township to the south. SR 50 connects Seaville to the Petersburg Village, where the municipal building and library are located.

Currently, public water serves portions of this Center through New Jersey American Water, but there is no public sewer. Community wastewater treatment facilities are permitted within the Seaville Center.



CHAPTER 1: SUMMARY OF THE PROCESS



The purpose of this chapter is to outline the process that Upper Township has undertaken to create the Form-Based Code for the core areas of its SR 9 Town Centers – Marmora and Seaville. Upper Township is required by the NJOSG grant to thoroughly engage the public in a phased participation process, first assessing existing conditions, then generating design concepts through workshops and finally preparing the guidelines so that the public understands the document, its significance and basis. This section documents the process that the municipality has undertaken to prepare the Form-Based Code.

Background Analysis & Preparation

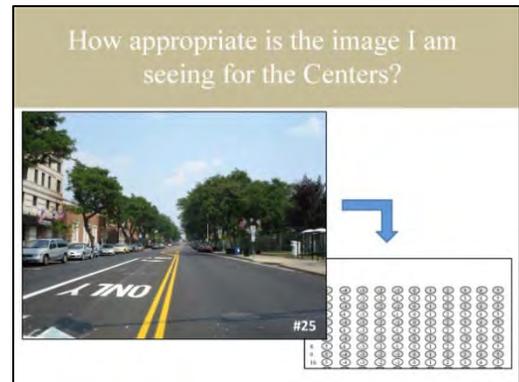
A thorough background analysis was completed by Maser, which included photographing existing buildings, streets, sidewalks, amenities, etc. in both Centers. Base maps were created using Geographic Information System (GIS) software to map the location of existing environmental constraints. Additionally, data was gathered on existing land uses and demographic conditions that were presented in the “Community Profile” (included in the Appendix), which summarized the existing conditions of both Town Centers.

The photographs from the two Town Centers were used in conjunction with photos from other areas to create a “Community Vision Survey” – a tool that utilizes pictures to gain a sense of what participants feel is appropriate for the future of their municipality. The photos were divided into categories - streets, pedestrian realms, building types, signage, parking, open space – and evaluated on a scale of -10 to +10. The higher the positive number, the more appropriate the participant felt the picture was for the municipality. The lower the negative number, the less appropriate the participant felt the picture was for the municipality. The responses of the survey are tabulated to determine the average and the standard deviation, which is the range of participants’ scores. The highest rated images represent the visual and spatial characteristics that participant’s desire for the municipality and can guide the consultants, who then translate the photos into the Form-Based Code.

Next, a questionnaire was prepared to gather more information on participants’ ideas for the Centers. General questions on open space, housing, transportation, quality of life, visual amenities and types of development were included. Finally, three mapping exercises were prepared, which used the base maps that were created, to allow the participants to interact and provide valuable information regarding areas for future redevelopment, density, streets and open space.

First Workshop

The first workshop was held on March 7, 2009 at the Upper Township Middle School Cafeteria from 10AM to 3PM. Over 65 people participated throughout the day. The workshop began with a brief introduction by Mr. Paul Dietrich, Township Engineer, and Ms. Renee Scrocca, Planning Board Chairwoman. Maser then presented an introduction to the project, information on the Town Centers as well as photographs detailing both Centers and explained what a Form-Based Code is to the audience. Next, Maser conducted the Community Vision (CV) Survey, which included 80 images, classified into the seven aforementioned categories. After the participants finished the CV, the questionnaires were handed out and lunch was served. Questionnaires were also available on the Township’s website for those who could not make it to the workshop.





Following lunch the participants were divided into four groups to complete the mapping exercises – two groups for each Center. The purpose of the first mapping exercises was to gather information from participants on their perception of the study areas and where redevelopment should occur.

The first mapping exercise asked participants to evaluate the study areas’ “susceptibility to change”. Three colors were given to each group representing varying levels of potential for change:

- Red = Preservation, do not change
- Orange = Minor Changes, building improvements
- Green = Transformation, development/redevelopment



The second mapping exercise focused on mobility and new thoroughfare connections. The purpose of this exercise was to encourage participants to think about new street connections to disperse traffic and alleviate congestion specifically on SR 9.

Participants were asked to create new street connections using the color green and delineated existing roads in need of repair with the color purple. Additionally, each group was provided a set of pictures of existing streets from around the United States. The groups were to select a picture they felt appropriately represented their idea of what each new street they indicated on their map should look like.



The third exercise focused on building typologies. The purpose of this exercise was to gather information from the participants on appropriate types of uses and scale of buildings. Each group was supplied with a new set of picture sheets, this time with various types of buildings (single use, mixed use, one-story, three-story, etc.) in each picture. The groups were asked to paste pictures that represented the type of construction they would like to see occur in each Center. The pictures would later be translated into the Form-Based Code by the Consultants.

Analysis

Following the public workshop, the results of the CV and questionnaire were tabulated and summarized. (The complete results of the CV and questionnaire are included in the Appendix.) Some interesting findings from the questionnaire included:

- 98.3% of participants were 35 years or older
- 67.8% of participants had lived in Upper for more than 15 years
- 51.7% of participants shop within the Town Centers
- 24.1% of participants rated the aesthetic quality of the Township’s parks as excellent
- 75.9% of participants said they feel new development would be beneficial to the economic development of the Township



Maser then analyzed the mapping exercises; the results for both Centers are shown on the attached maps. This data informed the Consultants of what participants felt was appropriate and inappropriate for the future of each Center. The data provided information on density, height, building size, type of parking, pedestrian connections and design guidelines. The draft Form-Based Code was then prepared, based on the data provided by the participants.

Second Workshop

The second workshop was held on March 4, 2010 at the Upper Township Middle School cafeteria from 6PM until 9:30PM. More than two dozen people participated throughout the evening. The purpose of the second workshop was to gain feedback on the overall vision statement and the Form-Based Code, which was a direct result of the input provided during the first public workshop, CV Survey and questionnaire.

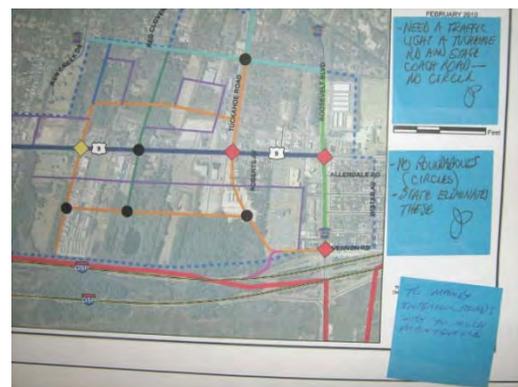
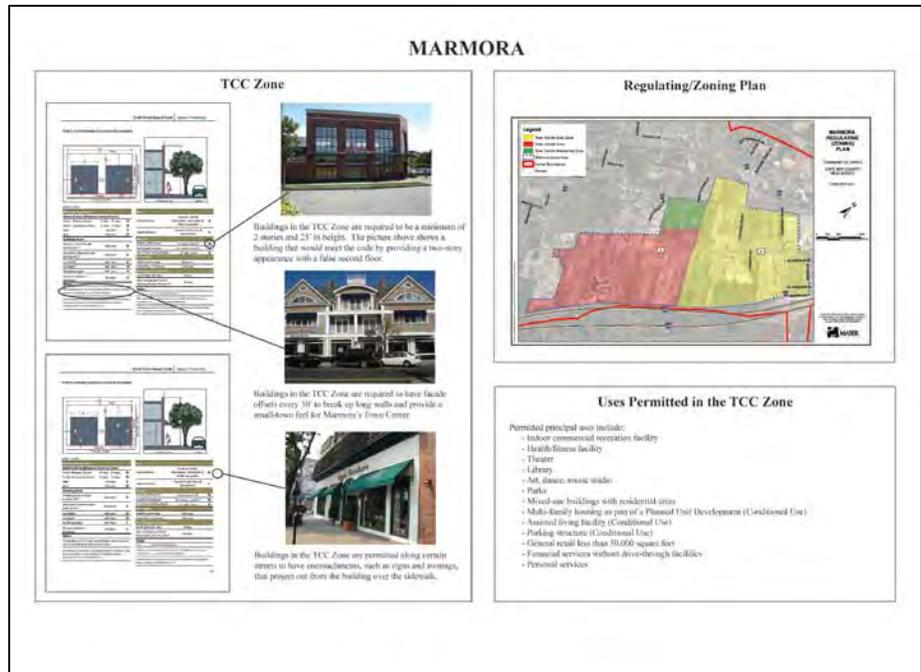
The second workshop was set up with interactive stations spread throughout the cafeteria. The stations included:

- Sign-in and Information
- Community Vision Survey Results
- Community Questionnaire Results
- Street Regulating Plans
- Street and Circulation Standards
- Architectural Guidelines
- Open Space Standards
- Seaville
- Marmora

The Community Vision Survey Results table contained a PowerPoint presentation that continuously looped the outcome of the survey. Results were presented for all questions, which revealed the images participants felt were appropriate for the future of Marmora and Seaville. The Community Questionnaire Results station presented a graphic summary of selected questions from the questionnaire. Copies of the entire set of results were available for review. The remaining stations highlighted key sections of the Form-Based Code.

Participants were free to wander from station to station, making comments and suggestions with the provided markers, sticky notes and comment sheets. Maser was on hand to answer questions and explain the text, maps and graphics.

At 7PM, the presentation portion of the workshop began. Mr. Paul Dietrich, Township Engineer, began by thanking everyone for coming out and explained the reason for the project's delay. Mr. Dietrich then



turned the presentation over to Marcia Shiffman of Maser. Mrs. Shiffman discussed the project timeline and the study areas. Mrs. Shiffman then turned the presentation over to Darlene Jay of Maser. Miss Jay explained the process that had taken place to gather information in order to create the Form-Based Code. She explained the three main tools that were utilized to gather data – Community Vision Survey, Community Questionnaire and mapping exercises. Next, Mrs. Shiffman gave a brief overview of the Draft Form-Based Code, outlining the following sections:

- Vision Statement
- Building, Parking and Use Standards
- Street and Circulation Standards
- Open Space and Park Standards
- Signage Standards
- Architectural Standards
- Glossary of Terms

Finally, she presented a series of images to show how the proposed mixed-use development and public improvements could occur over time.

The workshop was then opened for questions and answers. The public had a number of questions regarding the Form-Based Code, implementation, cost, phasing, etc. Any additional comments were requested to be provided to Mr. Dietrich within two weeks to be integrated into the final Form-Based Code.

Refinement

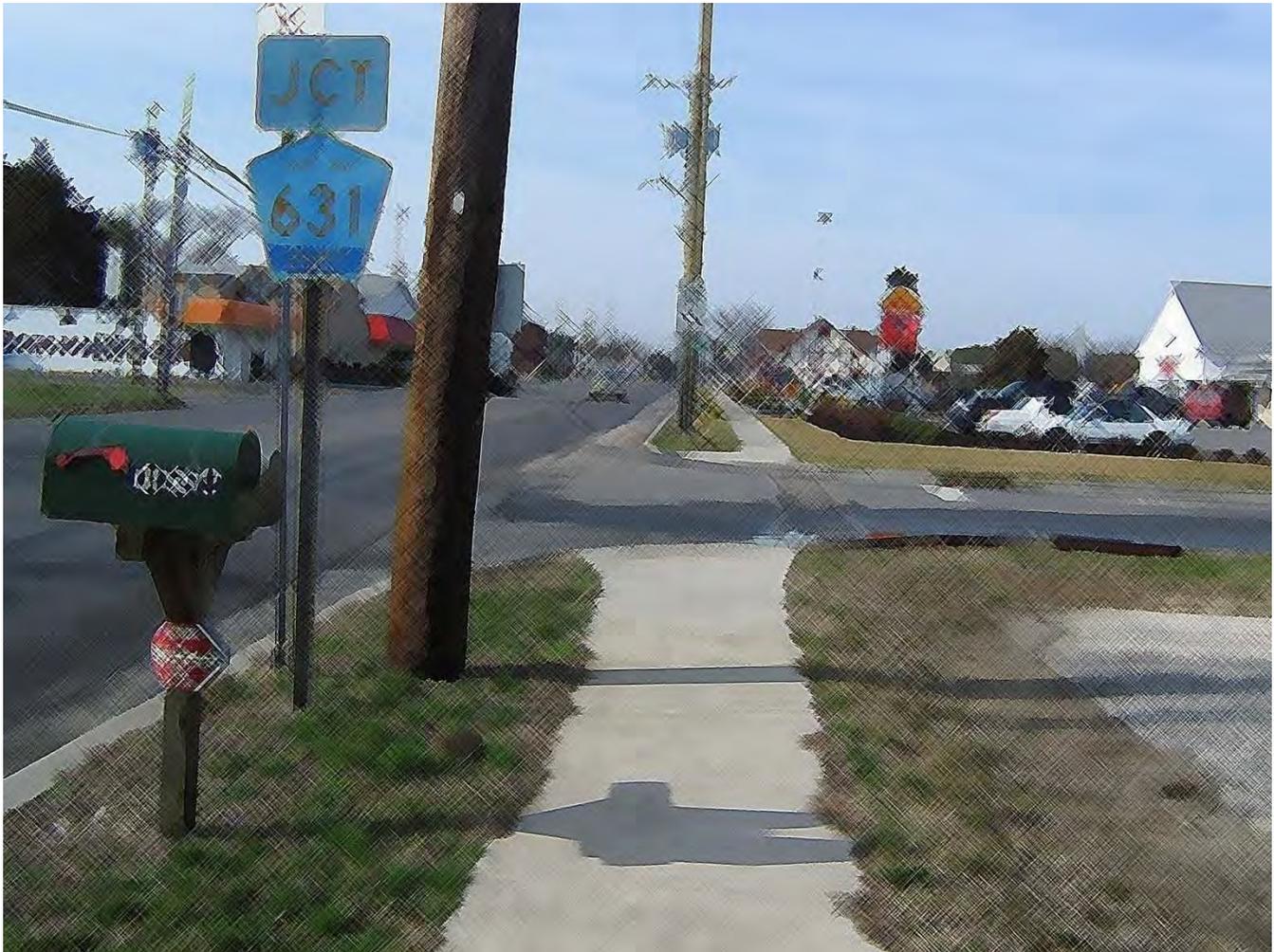
Following the second public workshop, the consultants reviewed the comments participants made at each of the stations, individual comment sheets and additional comments received following the workshop. Minor changes were made to the vision statement and the code itself to reflect the information gathered at the second public workshop.

Public Presentation

The final public presentation of the Form-Based Code was held on May 20, 2010 at the Upper Township Municipal Building before the Township Planning Board.



CHAPTER 2: CHALLENGES & OPPORTUNITIES



The purpose of this chapter is to outline the challenges and opportunities Upper Township's Town Centers face as they develop.

Primary Challenges

There are three main challenges that Marmora and Seaville Town Centers face: traffic congestion, infrastructure and fear of change. The project process included a community questionnaire that asked “what do you think are the biggest obstacles to creating a dynamic and desirable community in the Marmora and Seaville Centers?”. The top four answers were:

- Traffic
- Full interchanges
- Residents being afraid of change
- Infrastructure

Traffic congestion and a lack of water and sewer infrastructure are a reality that exists within the Centers currently, while fear of change is a perceived challenge. These became our primary challenges as the code was formulated.

Traffic Congestion

Traffic congestion is an issue in the summer months as both Centers are along routes that lead to popular shore towns. Traffic congestion is also an issue during morning and afternoon peak hours at some locations in the Town Centers. The congestion is due primarily because the lack of a street grid to disperse traffic. SR 9 is the main toll-free north-south roadway that parallels the ocean. The only other local road that runs north-south is Stagecoach Road (CR 667).

Additionally, because Seaville lacks a full interchange, many drivers are forced to drive to Marmora to get on the Parkway. This causes additional congestion along the SR 9 corridor and also on Roosevelt Boulevard (CR 623), which connects SR 9 to the Parkway.

Infrastructure

One of the major challenges to the development of the core areas in both Town Centers is sewer infrastructure. Currently, public water is available, but there is no wastewater infrastructure. It is the intention of this process to allow development to occur with the use of community wastewater systems.

Fear of Change

Residents being afraid of change – this is an issue for many municipalities. It is hard to imagine some of the concepts and ideas that were discussed at the public meetings – mixed-use buildings, tree-lined streets, etc. It is only natural for people to be skeptical and afraid of new ideas and types of development.

Key Opportunities

Despite the challenges listed above, the two Town Center Cores feature many opportunities for enhancement and new development. There are three key opportunities within the Centers: Master Plan support, municipal officials’ support and properties for sale.

Township Officials' Support

Township officials have been proactive in the general planning process, evidenced by receiving Plan Endorsement. The Township's Planning Board completed a Land Use Plan Amendment of the Master Plan and a Master Plan Reexamination in 2006. The Land Use Plan Amendment made recommendations to encourage mixed-use development within the Town Centers by changing the zoning. Then, the Township Committee initiated the discussion regarding Form-Based Codes and authorized the municipality to submit an application to complete a Form-Based Code grant through NJOSG.

Master Plan Support

The process of creating a Form-Based Code for the Town Centers is supported and recommended by the 2006 Land Use Element Amendment of the Master Plan. The Element contained a total of ten goals for land use, of which five are directly related to the Town Centers. This code will not only implement the goals of the Land Use Element Amendment, but the objectives shown below:

Goal #2: Guide mixed use development and redevelopment into compact Centers.

- Encourage higher density residential development within Township Centers to concentrate development into walkable pedestrian friendly Centers.
- Encourage mixed use development including residential and commercial uses within the Center core areas.
- Encourage creative development techniques to maintain the Township's rural character by guiding development to the Township Centers and limiting development in the Environs.
- Encourage creative land use techniques to minimize the impact of new development and to minimize conflicts between land use activities.

Goal #6: Assure decent homes to all present and future residents of the Township without regard to their economic status by providing for a full range of housing choices for all household income levels.

- Provide for affordable housing to meet the Township's obligation directing this housing into the Centers or as scattered infill housing units.
- Encourage variety in the type, design, and size of housing constructed.

Goal #7: Provide diversity and strength to the local tax base.

- Foster a well integrated and balanced community with a mix of residential, commercial, agricultural, and other types of land uses and guide economic activities into compact Centers.
- Provide for a range of commercial activities in the Township Centers where the circulation, utility, and community service systems are best suited to handle the resulting volumes.
- Provide appropriate design controls for commercial development to minimize hazardous conditions and encourage good design and to ensure an attractive compatible appearance with the Township's vision and historic character.
- Promote the development of attractive and safe neighborhood commercial Centers through the use of site and building design guidelines.
- Provide on-premise sign regulations which promote safety and prevent sign proliferation.

Goal #8: Establish and maintain the level of community facilities and public services required to satisfy the needs of present and future residents of Upper Township.

- Allow for the well planned expansion of public facilities and services that does not exceed the carrying capacity of the land and the built systems.
- Provide for streets, utilities, schools, parks, police and fire protection, and other services sufficient to meet the needs of the community.

- In the Town Centers, provide the opportunity for community wastewater treatment facilities to accommodate higher density housing and commercial development. Amend Wastewater Management plan to support this infrastructure within the Centers.
- Promote the extension of public water within the Township Centers and encourage existing properties to tie into new utility extensions. In general, provide for such utilities (especially public water) where new development can afford the costs of extending these services and where such extensions promote the logical and orderly extension of development adjacent to existing development.

Goal #10: Provide a transportation network that supports existing and planned development compatible with the carrying capacity of the land and the built environment.

- Provide a road network which separates through traffic from local traffic and directs through traffic to the regional roadway network.
- Prevent the transformation and disruption of the Township's residential and historic Centers by providing for alternative routes for through traffic.
- Provide for the connection of new subdivisions by the extension of collector streets, sidewalks, and local roadways to promote the development of neighborhoods and to promote social interaction with the Township.
- Prevent hazardous traffic patterns and high congestion by limiting roadway connections and driveways accessing onto State and County roadways.
- Require street trees and open space buffers to enhance visual quality and to protect adjacent land uses from the noise, dirt and glare of traffic along all roads.
- Provide for the development of a walkway and/or bikeway system that will provide connections throughout residential neighborhoods of the Township by utilizing separated pedestrian walkways and bike paths along primary roadways and along the stream corridors, greenways and open space areas where possible.
- Encourage the campground operations to work with the Township and the County of Cape May to develop alternative transportation programs such as shuttle operations to serve campground visitors and to reduce summer vehicular traffic activity.

This code will not only implement the land use characteristics desired, but also encourage a street grid to alleviate traffic congestion and produce a sidewalk and bicycle network.

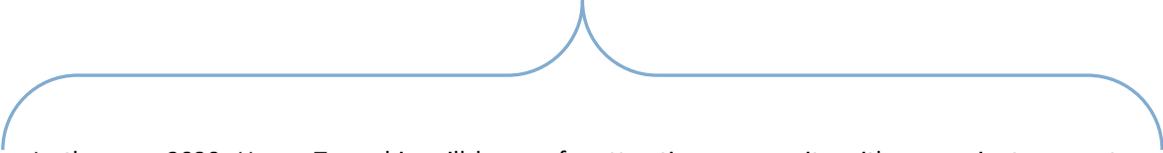
Numerous Properties for Sale

There are a number of properties in Marmora and Seaville's Town Center that are currently for sale. Specifically, there are vacated car dealerships at the intersection of SR 9 and Tuckahoe Road in Marmora, which are available. In addition to the various properties that are for sale, there are many motivated land owners who have approached the Township and are interested in developing under the new Form-Based Code.

CHAPTER 3: VISION STATEMENT

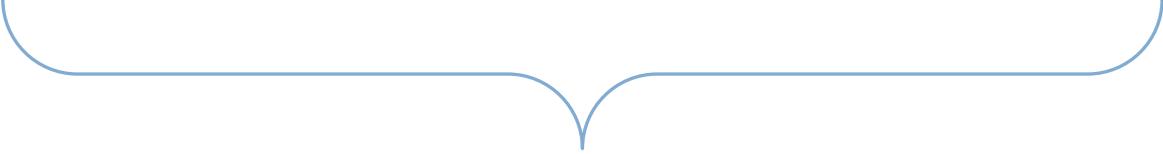


The result of the numerous public outreach sessions was the creation of a vision statement to guide future development and redevelopment of the Marmora and Seaville Town Center cores. This statement was the direct result of the input from community residents, business owners and public officials.

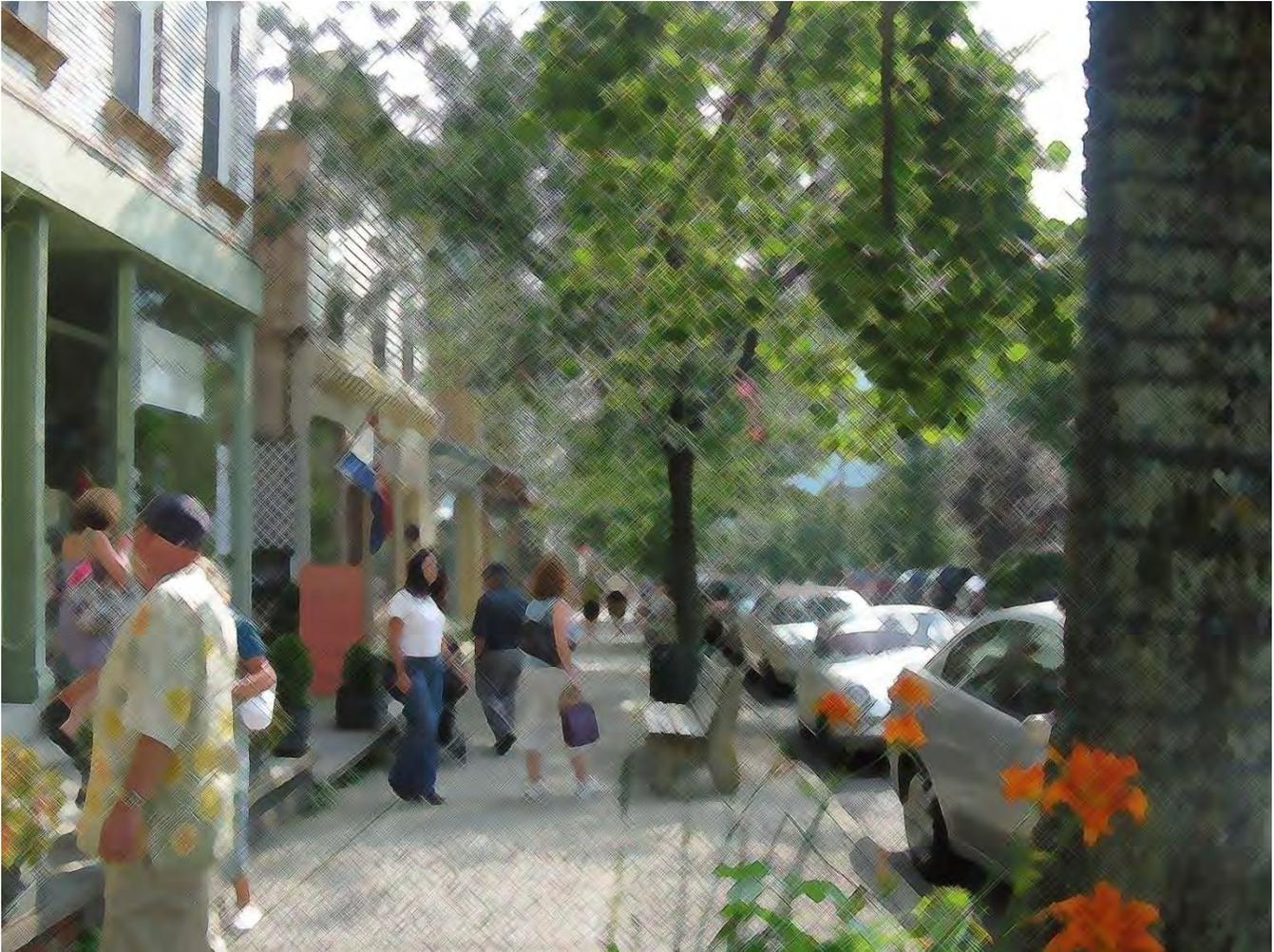


In the year 2030, Upper Township will be a safe, attractive community with convenient access to employment, shopping and recreation, which will be located within its two Town Centers cores along Route 9. Marmora and Seaville will be transformed into places to both live and work. The Town Centers will contain a variety of housing types and provide a number of quality job opportunities for residents. Furthermore, the Town Centers will include a mixture of shops, stores and locally-owned restaurants.

The entire Township's quality of life will be enhanced with an expanded street grid, interconnected sidewalk network and a Township-wide bike system. Finally, a range of parks and plazas will be scattered throughout both Town Centers offering recreational opportunities.



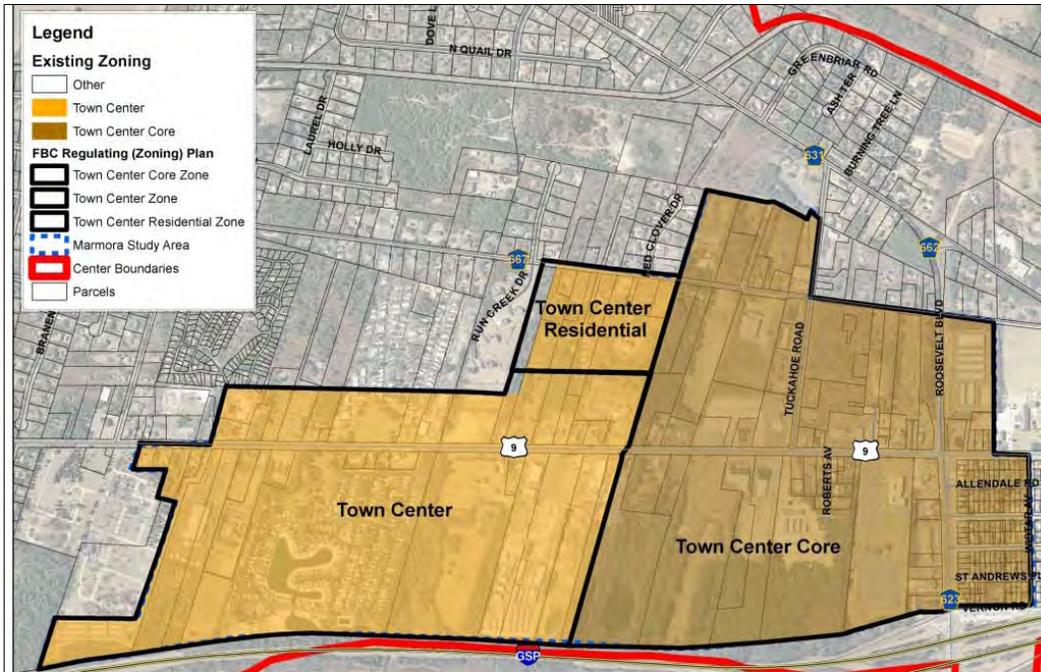
CHAPTER 4: FORM-BASED CODE



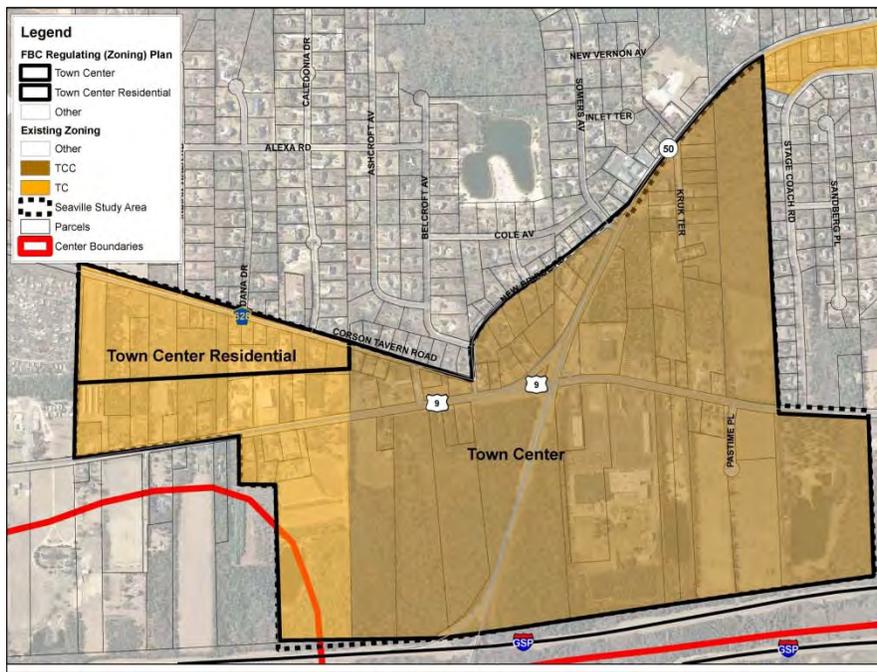
This chapter establishes the standards for all future development and redevelopment in the Marmora and Seaville Town Centers. A Regulating or Zoning Plan is included for both Marmora and Seaville, which shows the zoning within the Town Centers. Each zone has a brief description with axonometric sketches illustrating what potential development patterns would look like. Next, the detailed bulk and use standards are outlined for each district, which specify the building placement, building form, parking location, allowed encroachments, allowed frontage types and permitted uses. These standards were derived from the public workshop Community Vision Survey, Community Questionnaire and workshop mapping exercises.

The zoning was amended in 2007 in accordance with the 2006 Master Plan Reexamination. As per the Form-Based Code planning effort, zoning amendments are recommended to bulk, area and building standards together with updated design standards. Overall zone district boundary changes are also recommended.

The zoning in Marmora Town Center is currently TCC and TC, which is proposed to slightly change. The TC Zone will shrink to accommodate the new TCR Zone, which participants felt was more in keeping with the adjacent residential properties.



In Seaville Town Center the zoning is currently TCC and TC. As a result of the public workshops, the TCC Zone was removed and replaced with the lower density TC Zone and the TCR Zone was added along Corson Tavern Road to be more compatible with the existing residential development.



Zone Descriptions

Town Center Core Zone & Town Center Zone

The purpose of the "TC" and "TCC" Zones is intended to promote a desirable mix of commercial, office, civic and residential land uses within a vibrant, pedestrian-friendly, town center environment with an emphasis on uses that service local needs. It is intended to encourage pedestrian flow throughout the area by generally permitting stores and shops and personal service establishments on the ground floor of buildings and promoting the use of upper floors for offices and residential dwelling units in order to enhance the orientation of land uses toward pedestrian shopping and circulation within a town center-style mixed-use environment. The districts promote a more dense development through the use of community wastewater treatment facilities.

The main difference between the Town Center Core and Town Center Zone is the scale and intensity of development. The Town Center Core is allowed higher buildings, greater coverage and higher residential density than the Town Center.

The goals of the "TC" and "TCC" Zones include ensuring design compatibility with existing development that considers building height, materials, colors, landscaping and signage, sharing off-street parking and storm water detention opportunities, providing off-street parking that is well-screened from public view; controlling means of vehicular access and coordinating internal pedestrian and vehicular traffic flows relating to existing and proposed development patterns. All development shall reflect traditional town center planning and design principles, including:

1. Provide a layout of buildings, open spaces and parking lot edges that encourage sidewalk and pathway interconnections.
2. Provide for focal points such as pocket plazas or town squares and other open spaces, as appropriate, such that a sense of place is enhanced and strengthened.
3. Promote the transition of land development into a new district that exhibits the design features of a traditional mixed-use town center neighborhood promoting pedestrian circulation, social gathering and interaction amongst commercial establishments supporting and servicing the residents of the community.
4. Create a district that offers a feeling of security.
5. Encourage a mix of residences, stores and shops, personal service establishments, offices, workplaces and civic uses that are interwoven within a traditional mixed-use town center neighborhood, all in close proximity.
6. Encourage a mix of uses that provide for predominately retail stores, offices, restaurants and personal service uses on the first floor or street level with office and residential uses located on upper floors.
 - a. Promote the design and arrangement of buildings in a manner that advances "green building" concepts to achieve sustainability.
 - b. Promote the creation of a district with architectural facade design and building scale typical for a mixed-use town center neighborhood and representative of elements of Upper Township's historic character.
 - c. Promote cross access and shared access to reduce the number of driveways along Route 9.

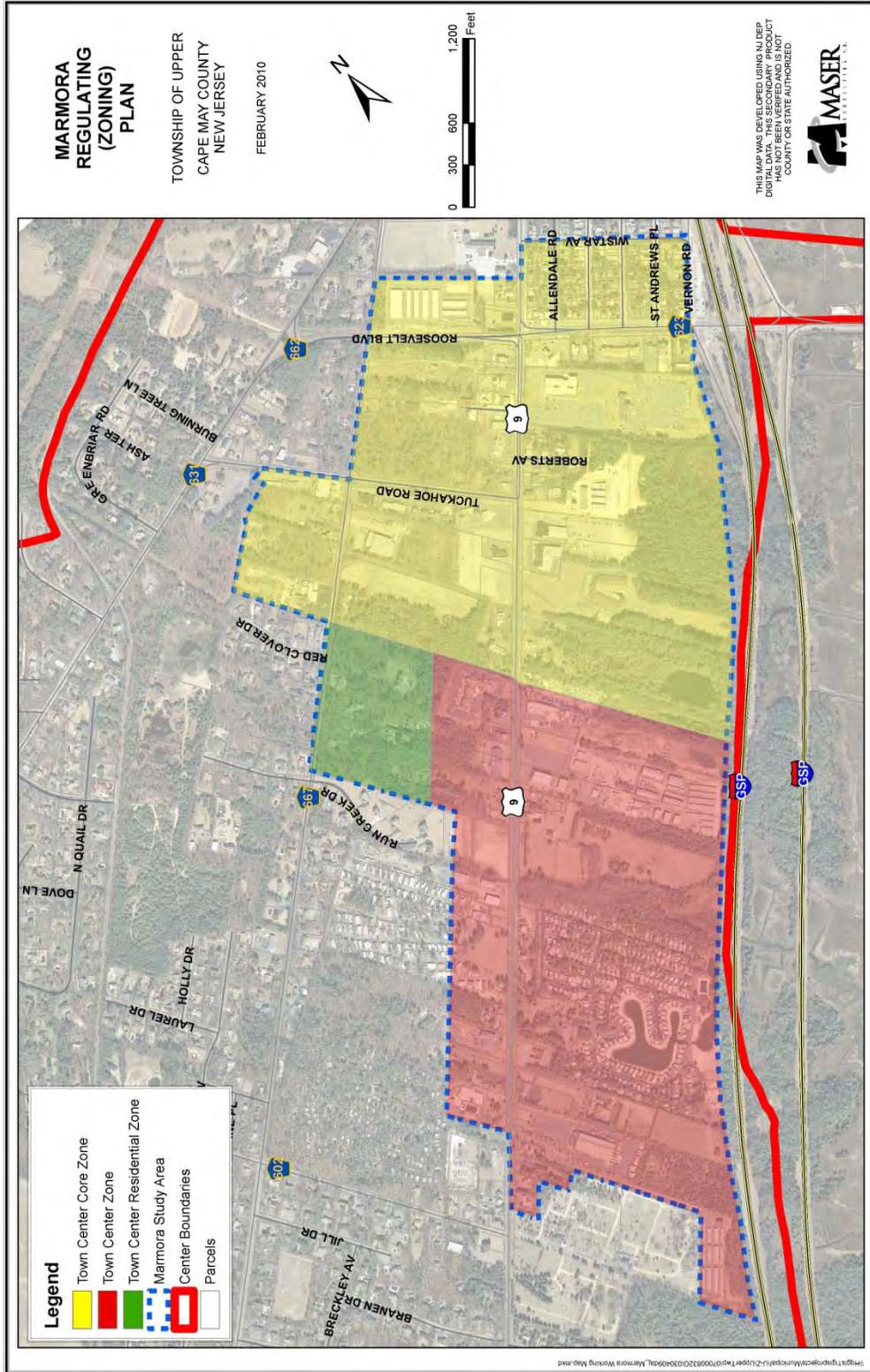
Town Center Residential Zone

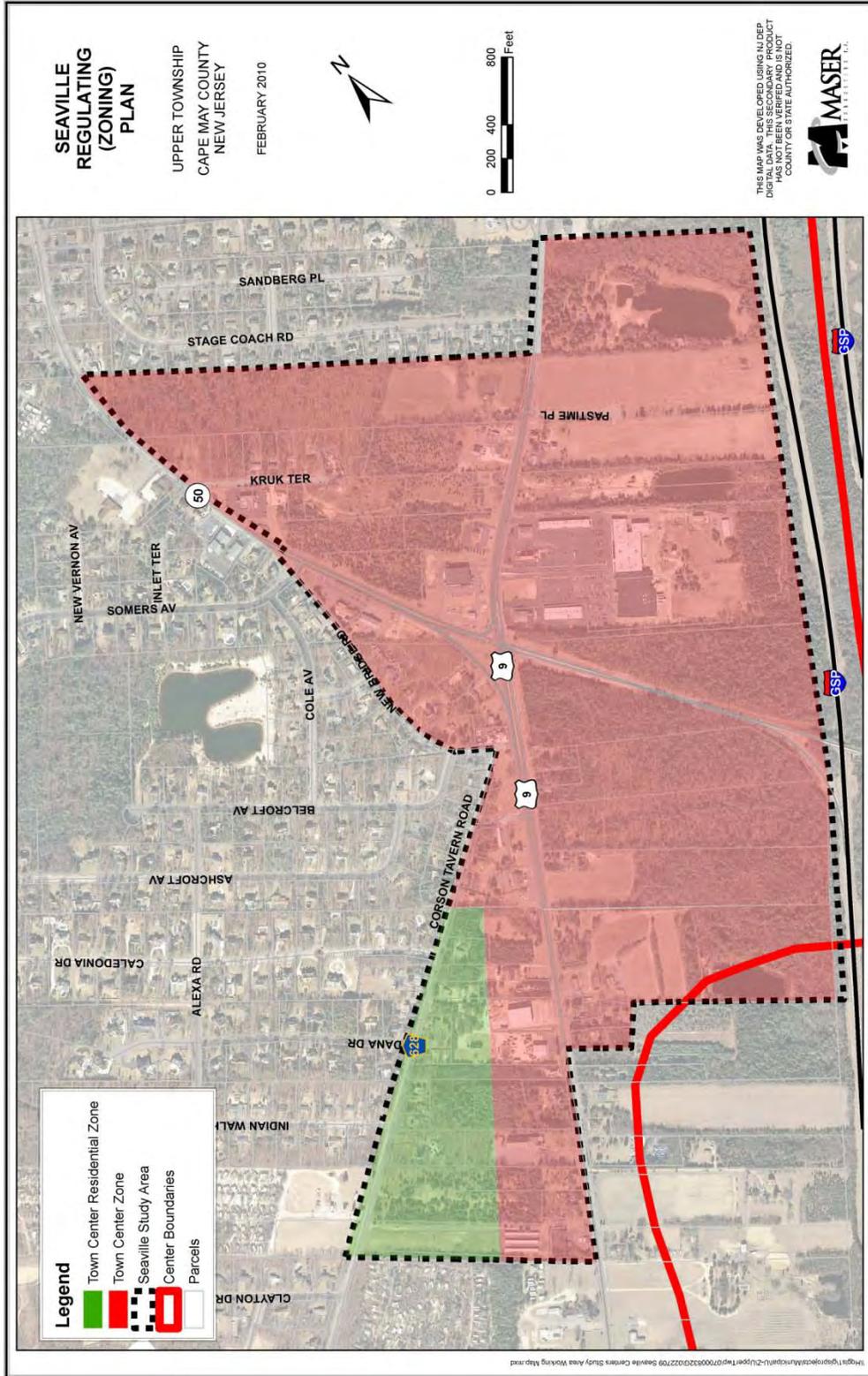
The purpose of the "TCR" residential zone is to promote a safe, pedestrian-friendly town center development pattern that permits the construction of a variety of housing typologies that will diversify the housing stock within Upper Township. Attached housing is encouraged as well as new residential squares to provide new recreational areas for all Township residents. The district promotes a more dense development through the use of community wastewater treatment facilities.

The goals of the "TCR" Zone includes ensuring design compatibility with existing residential development that considers building height, materials, colors, landscaping and signage; controlling means of vehicular access and coordinating internal

pedestrian and vehicular traffic flows relating to existing and proposed development patterns. All development shall reflect traditional town planning and design principles, including:

1. Provide a layout of buildings, open spaces and parking lot edges that encourage sidewalk and pathway interconnections.
2. Provide for focal points such as small parks or residential squares and other open spaces, as appropriate, such that a sense of place is enhanced and strengthened.
3. Promote the transition of land development into a new district that exhibits the design features of a traditional residential neighborhood promoting pedestrian circulation, social gathering and interaction amongst the residents of the community.
4. Create a place that offers a feeling of security.





Town Center Core (TCC) Standards



Primary Street View – Route 9



Aerial View – Route 9

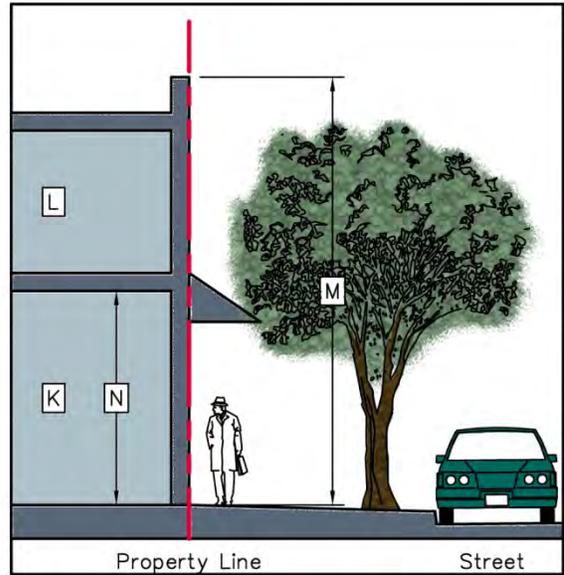
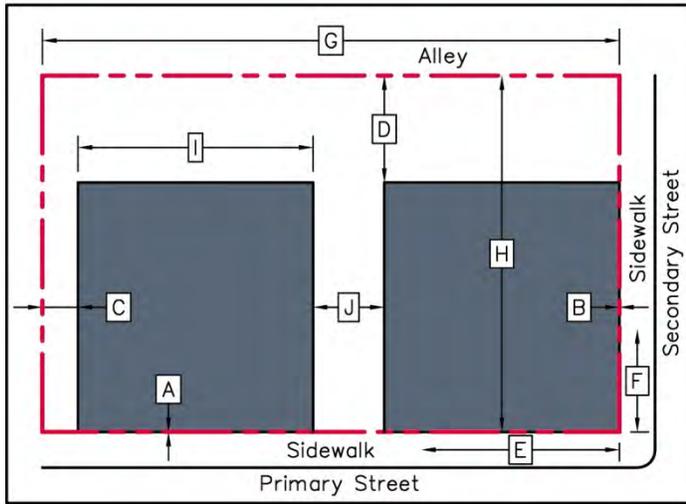


Sidewalk View – Route 9



Primary Street View – Route 9

TOWN CENTER CORE (TCC) ZONE STANDARDS



Lot line = red line

Building Placement

Build-to-Line (Distance from Lot Line)

Front - Primary Street	0' min. - 8' max.	A
Front - Secondary Street	0' min. - 4' max.	B
Side	10' min.	C
Rear	30' min.	D

Building Form

Primary Street Façade built to BTL*	50% at 0'	E
Secondary Street Façade built to BLT*	30% at 0'	F
Lot Width	200' min.	G
Lot Depth	200' min.	H
Building Length	100' max.	I
Distance between Buildings	20' max.	J

Notes

*Any building over 30' wide must be broken down to read as a series of buildings no wider than 30' each.

All buildings must have a primary ground floor entrance that faces the primary street; all doors shall be set back a minimum of 4' from the build-to-line.

Use

Ground Floor	Services, Retail, Recreation, Education & Public Assembly	K
Upper Floor(s)	Ground Floor Uses & Residential	L

Height

Building Minimum	2 stories and 25'	M
Building Maximum	3.5 stories and 55'	M
First Floor Ceiling Height	12' min. clear	N

Coverage

Building Coverage	40% max.
Impervious Coverage	70% max.

Dwelling Unit Density

As-of-Right Per Acre	8 max.
Non-contiguous Parcel Density Cluster Per Acre*	16 max.

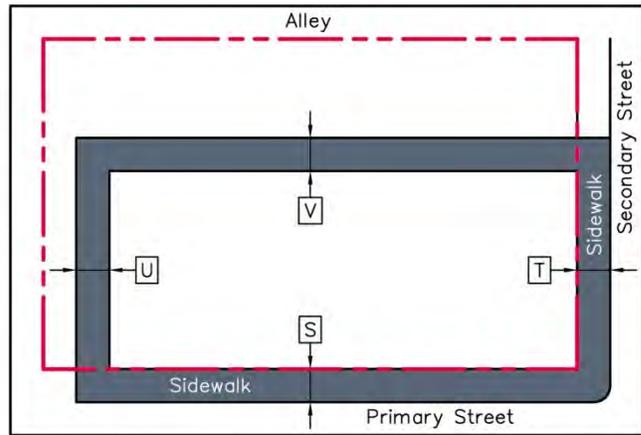
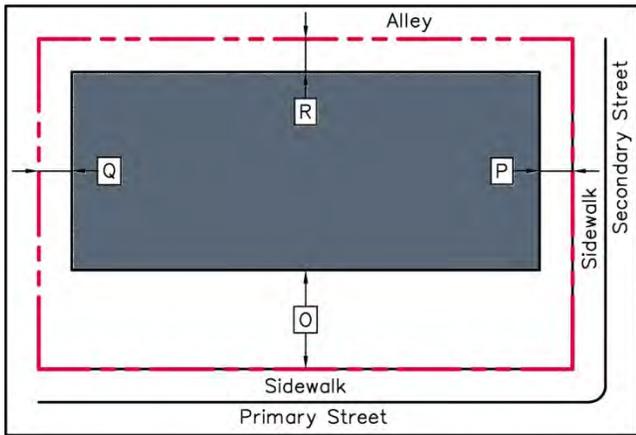
Notes

* See _____ of the Zoning Ordinance.

All residential development requires a 20% affordable housing setaside; see _____ of the Zoning Ordinance.

Loading docks and service entries are prohibited on facades that face a primary or secondary street.

TOWN CENTER CORE (TCC) ZONE STANDARDS



Lot line = red line

Parking		
Location (Distance from Lot Line)		
Front - Primary Street Setback	30' min.	O
Front - Secondary Street Setback	10' min.	P
Side Setback	10' min.	Q
Rear Setback	10' min.	R
Required Spaces		
Automobile	See Chapter 20-5.7.b. of the Zoning Ordinance	
Bicycle	1 space per 20 automobile spaces	
Notes		
Shared parking is permitted for mixed-use developments when pedestrian access is provided from the street to the rear parking area. Up to a maximum of 20% of the required spaces may be shared.		
Driveways are discouraged along SR 9, Roosevelt Blvd., Tuckahoe Road and Stagecoach Road and are only permitted if there is no other option for access to parking areas.		

Encroachments		
Location		
Front - Primary Street*	6' max.	S
Front - Secondary Street*	6' max.	T
Side**	6' max.	U
Rear***	6' max.	V
Permitted Frontage Types		
Shopfront****	9' min. clear.	
Arcade****		
Forecourt****		
Notes		
*No encroachments are permitted along a County road and only canopies, awnings and hanging sign encroachments are permitted along a State or local road, which must receive an air rights easement.		
**Canopies, awnings and balconies may encroach the side setback, as shown in the shaded area. However, a 10' clearance must be maintained between any encroachment and the property line.		
*** Canopies, awnings and balconies may encroach into the rear setback, as shown in the shaded area.		
****See page ____ for examples.		

TOWN CENTER CORE (TCC) ZONE STANDARDS

Use	
Recreation, Education & Public Assembly	
Indoor commercial recreation facility	P
Health/fitness facility	P
Theater, cinema	P
Library, museum	P
Meeting/conference facility	P
Art, dance, music studio	P
Municipal uses	P
Places of worship	P
Park, public square	P
Residential	
Mixed-use building with residential units	P
Multi-family housing as a part of a Planned Unit Development	CU
Assisted living facility	CU
Transportation, Utilities	
Public utility	CU
Parking structure	CU

Use	
Retail	
General retail, except:	P
> 50,000 sf single use	NP
with drive-through facilities	CU
Restaurants, bars, taverns	P
with drive-through facilities	CU
Automobile repair, service, gas station	NP
Services	
Financial services	P
with drive-through facilities	CU
Medical services	P
Offices	P
Hotel	CU
with conference center	CU
Daycare	P
Personal services	P

Accessory Use	
Off-street parking	P
Loading facilities	P
Fences and walls	P
Signs	P
Street furnishings	P
Sidewalk Cafes	P
Trash receptacles	P

Key	
P	Permitted Use
CU	Conditional Use
NP	Not Permitted

Town Center (TC) Standards



Primary Street View

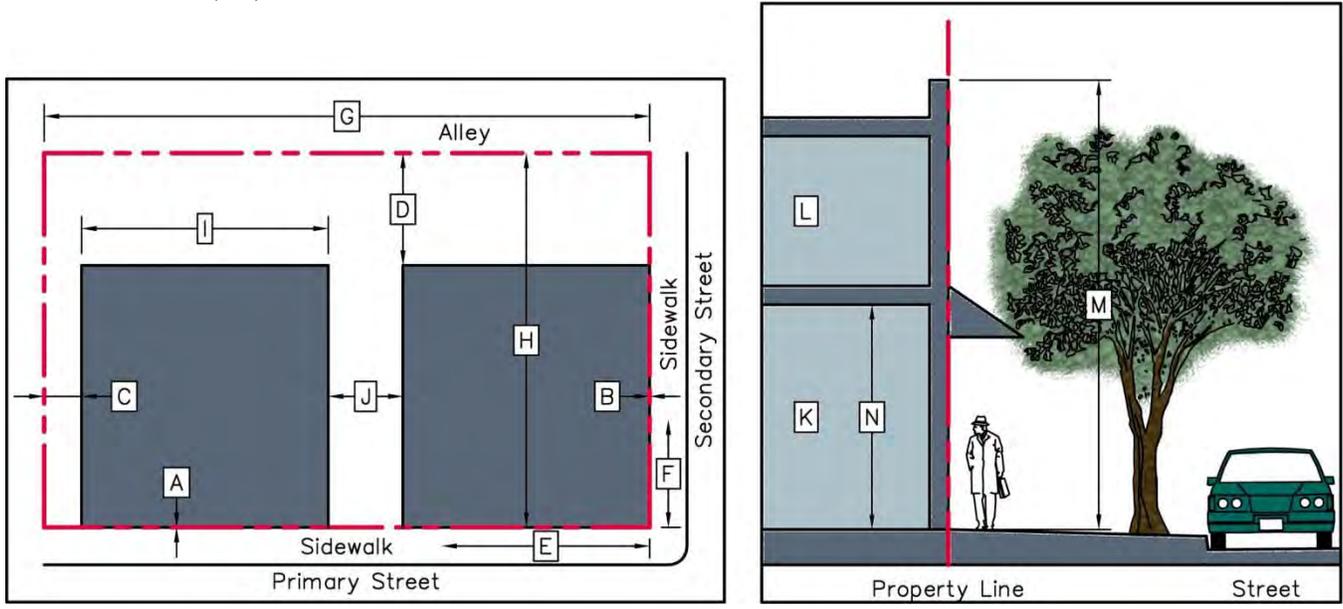


Primary Street View



Sidewalk View

TOWN CENTER (TC) ZONE STANDARDS



Lot line = red line

Building Placement

Build-to-Line (Distance from Lot Line)		
Front - Primary Street	0' min. - 8' max.	A
Front - Secondary Street	0' min. - 4' max.	B
Side	10' min.	C
Rear	40' min.	D

Building Form

Primary Street Façade built to BTL*	50% at 0'	E
Secondary Street Façade built to BLT*	30% at 0'	F
Lot Width	200' min.	G
Lot Depth	200' min.	H
Building Length	100' max.	I
Distance between Buildings	20' max.	J

Notes

*Any building over 30' wide must be broken down to read as a series of buildings no wider than 30' each.

All buildings must have a primary ground floor entrance that faces the primary street; all doors shall be set back a minimum of 4' from the build-to-line.

Use

Ground Floor	Services, Retail, Recreation, Education & Public Assembly	K
Upper Floor(s)	Residential or Services	L

Height

Building Minimum	2 stories or 25'	M
Building Maximum	2.5 stories / 45'	M
First Floor Ceiling Height	12' min. clear	N

Coverage

Building Coverage	30% max.
Impervious Coverage	60% max.

Dwelling Unit Density

As-of-Right Per Acre	6 max.
Non-contiguous Parcel Density Cluster Per Acre*	12 max.

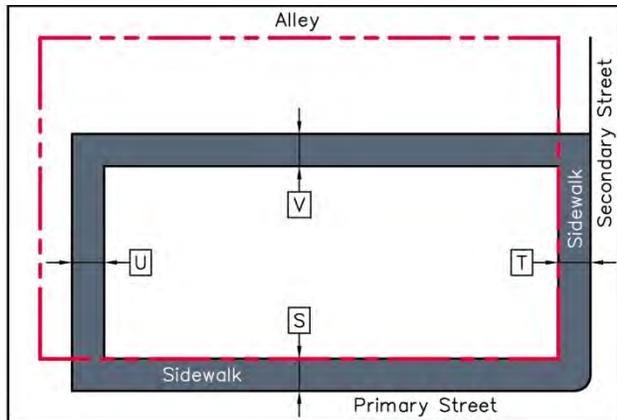
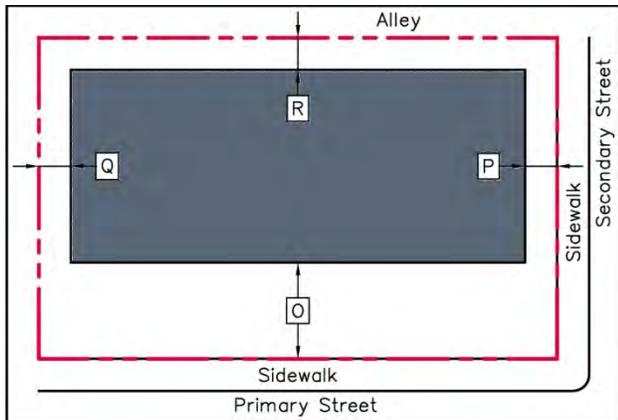
Notes

* See _____ of the Zoning Ordinance.

All residential development requires a 20% affordable housing setaside; see _____ of the Zoning Ordinance.

Loading docks and service entries are prohibited on facades that face a street.

TOWN CENTER (TC) ZONE STANDARDS



Lot line = red line

Parking

Location (Distance from Lot Line)

Front - Primary Street Setback	30' min.	O
Front - Secondary Street Setback	10' min.	P
Side Setback	10' min.	Q
Rear Setback	10' min.	R

Required Spaces

Automobile	See Chapter 20-5.7.b. of the Zoning Ordinance
Bicycle	1 space per 20 automobile spaces

Notes

Shared parking is permitted for mixed-use developments when pedestrian access is provided from the street to the rear parking area. Up to a maximum of 20% of the required spaces may be shared.

Parking drives are discouraged along Route 9, Route 50 and Corson Tavern Road are only permitted if there is no other option for access to parking areas.

Encroachments

Location

Front - Primary Street*	6' max.	S
Front - Secondary Street*	6' max.	T
Side**	6' max.	U
Rear***	6' max.	V

Permitted Frontage Types

Shopfront****	9' min. clear.
Arcade****	
Forecourt****	

Notes

*No encroachments are permitted along a County road and only canopies, awnings and hanging sign encroachments are permitted along a State or local road, which must receive an air rights easement.

**Canopies, awnings and balconies may encroach the side setback, as shown in the shaded area. However, a 10' clearance must be maintained between any encroachment and the property line.

*** Canopies, awnings and balconies may encroach into the rear setback, as shown in the shaded area.

****See page ____ for examples.

TOWN CENTER (TC) ZONE STANDARDS

Principal Use	
Recreation, Education & Public Assembly	
Indoor commercial recreation facility	P
Health/fitness facility	P
Theater, cinema	P
Library, museum	P
Meeting/conference facility	P
Art, dance, music studio	P
Municipal uses	P
Places of worship	P
Park, public square	P
Residential	
Mixed-use building with residential units	P
Multi-family housing as a part of a Planned Unit Development	CU
Assisted living facility	CU
Transportation, Utilities	
Public utility	CU
Parking structure	CU

Principal Use	
Retail	
General retail, except:	P
> 50,000 sf single use	NP
with drive-through facilities	CU
Restaurants, bars, taverns	P
with drive-through facilities	CU
Automobile repair, service, gas station	NP
Services	
Financial services	P
with drive-through facilities	CU
Medical services	P
Offices	P
Hotel	CU
with conference center	CU
Daycare	P
Personal services	P

Accessory Use	
Off-street parking	P
Loading facilities	P
Fences and walls	P
Signs	P
Street furnishings	P
Sidewalk Cafes	P
Trash receptacles	P

Key	
P	Permitted Use
CU	Conditional Use
NP	Not Permitted

Town Center Residential (TCR) Standards



Primary Street View



Aerial View



Primary Street View



Sidewalk View

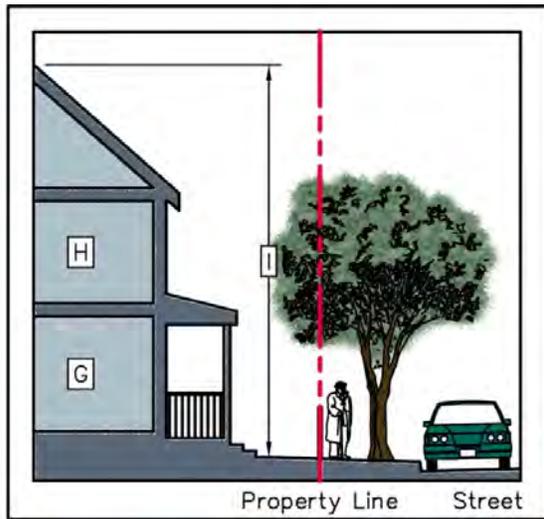
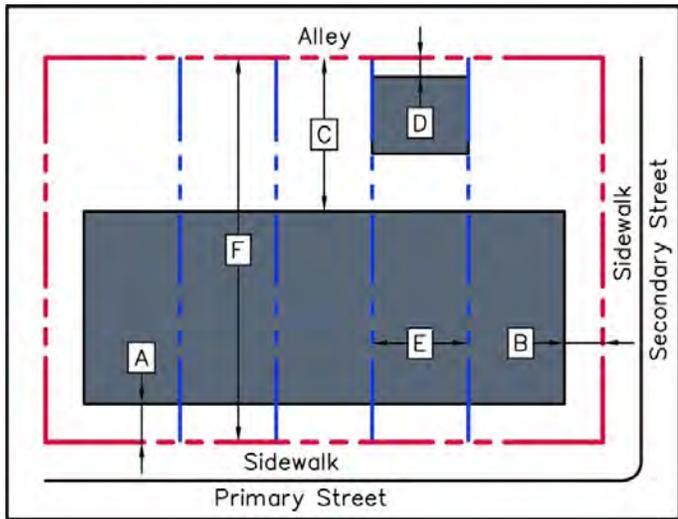


Rear View



Duplex View

TOWN CENTER RESIDENTIAL (TCR) ZONE STANDARDS



Lot line = blue line
 Tract line = red line

Tract Standards

Tract Width	200' min.
Tract Depth	200' min.
Open Space Buffer from all Non-Street Property Lines	10' min.

Building Placement

Build-to-Line (Distance from Lot Line)

Front - Primary Street	6' min. - 12' max.	A
Front - Secondary Street	5' min. - 10' max.	B
Rear	40' min.	C
Side, Accessory Building*	5' min.	
Rear, Accessory Building	5' min.	D

Building Form

Lot Width**	25' min.	E
Lot Depth**	100' min.	F
Building Length	160' max.	
Distance between Buildings	20' min.	
Footprint of Accessory Building	600 sf max.	

Notes

*A 5' setback is required unless accessory building shares common wall with adjacent lot's accessory building.
 **Duplex or townhouse lot standards.

Use

Ground Floor	Residential	G
Upper Floor(s)	Residential	H

Height

Building Max.	2.5 stories and 35'	I
Accessory Building Max.	2 stories and 25'	

Coverage

Building Coverage	40% max.
Impervious Coverage	50% max.

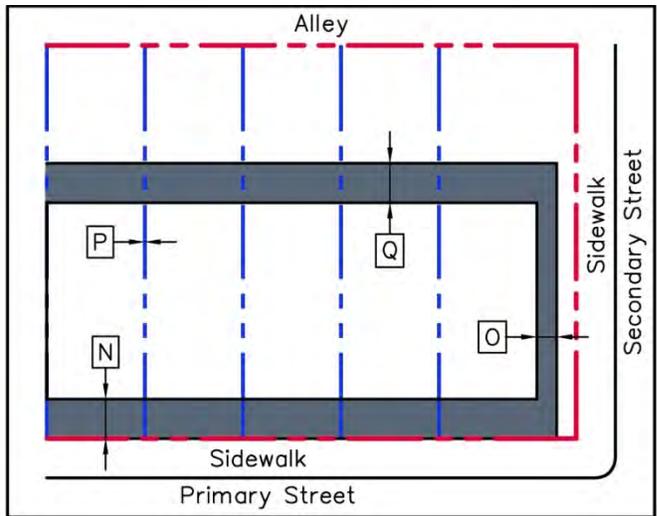
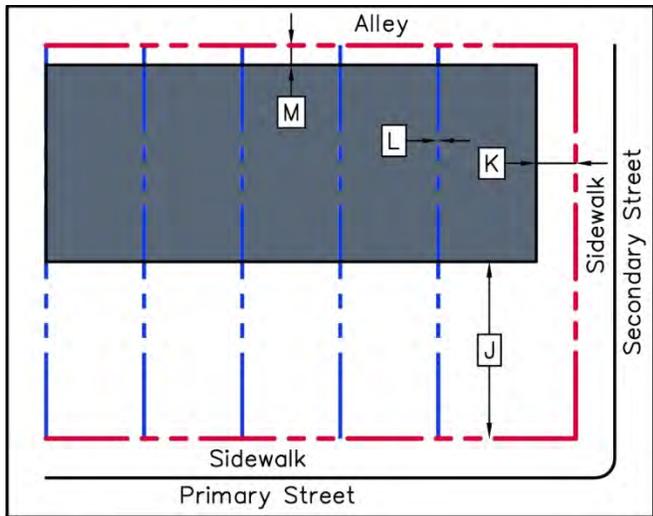
Dwelling Unit Density

As-of-Right Per Acre	6 max.
Non-contiguous Parcel Density Cluster Per Acre*	12 max.

Notes

Garage doors are not permitted on the front façade.
 * See _____ of the Zoning Ordinance.
 All residential development requires a 20% affordable housing setaside; see _____ of the Zoning Ordinance.
 All buildings must have a primary ground floor entrance that faces the primary street.
 Any building over 30' wide must be broken down to read as a series of residential units no wider than 30'.

TOWN CENTER RESIDENTIAL (TCR) ZONE STANDARDS



Lot line = blue line
 Tract line = red line

Parking

Location (Distance from Lot Line)		
Front - Primary Street Setback	30' min.	J
Front - Secondary Street Setback	10' min.	K
Side Setback*	3' min.	L
Rear Setback**	0' min.	M

Required Spaces

Automobile	See Chapter 20-5.7.b. of the Zoning Ordinance	
Bicycle	1 space per 20 automobile spaces	

Notes

*Note that garages that share a common wall with the adjacent lot's garage are allowed to be located at the 0' BTL.

**It is the intent of the ordinance to have all parking located behind the building and accessed by alleys.

Encroachments

Location		
Front - Primary Street*	6' max.	N
Front - Secondary Street*	5' max.	O
Side	0' max.	P
Rear**	12' max.	Q

Permitted Frontage Types

Forecourt***
Residential - Stoop***
Residential - Porch***

Notes

*Canopies, awnings, porches and stoops may encroach into the front street setbacks, as shown in the shaded areas.

** Canopies, awnings, porches, stoops, decks and balconies may encroach into the rear setback, as shown in the shaded area.

***See page ____ for examples.

TOWN CENTER RESIDENTIAL (TCR) ZONE STANDARDS

Principal Use	
Recreation, Education & Public Assembly	
Park, public square	P
Community building & related recreational facilities	P
Residential	
Townhouses	P
Duplexes	P
Accessory building	P
Accessory apartment	P
Transportation, Utilities	
Public utility	CU

Accessory Use	
Off-street parking for residential uses	P
Residential garages	P
Signs	P
Fences and walls	P

Key	
P	Permitted Use
CU	Conditional Use
NP	Not Permitted

Conditional Use Standards for the TCC, TC, TCR Zones

The Zoning Ordinance shall be amended as follows. The following section identifies new conditional use requirements, which will be added to the Township’s existing conditional use section.

20-6.4 Conditional Uses.

m. *Planned Unit Development*

- 1. Detailed standards
 - (a) Minimum lot size of 10 acres
 - (b) Minimum 10% common open space
 - (c) Commercial and residential uses are required
 - (d) No freestanding residential buildings within 300’ of Route 9
 - (e) Residential density consistent with underlying TCC or TC Zone
 - (f) Permit non-contiguous parcel density cluster
 - (g) Minimum 50 feet tract bugger where PUD abuts residential zone
 - (h) Residential-only buildings shall conform to TCR Zone standards
 - (i) Minimum set-aside of 20% for affordable housing

n. *Parking Structure*

- 1. Purpose. This use has been established in recognition of the need to provide a variety of potential parking options for the future group of Upper Township’s Town Centers. It is intended that this use will provide an opportunity for more intense development within the Town Centers.
- 2. Special Requirements for Parking Structures. Parking structures shall be permitted in the “TC” and “TCC” Districts provided the following conditions are met based on specific findings by the Planning Board.
 - (a) Parking structures shall be permitted when the first floor of the structure fronting a primary or secondary street is wrapped with a service, retail, recreation, education or public assembly use for a minimum depth of 30 feet from the build-to-line. The parking structure may abut a primary or secondary street build-to-line on the upper floors.
 - (b) A parking structure shall be designed to match the architectural design of the principle building on site.
 - (c) Maximum structure height shall be that of the zone.

o. *Hotel with Conference Center*

- 1. Purpose. This use has been established in recognition of the proximity of Upper Township to the New Jersey shore and the growing demand for hotel/conference center facilities within the region. It is intended that this use will provide for economic development within the Upper Township Town Centers.
- 2. Special Requirements for Hotels with Conference Centers. Hotels with conference centers shall be permitted in the “TC” and “TCC” Districts provided the following conditions are met based on specific findings by the Planning Board.
 - (a) Shall meet the conditional requirements for Hotels as stated in Chapter 20-6.4.c.

- (b) Shall have a conference center facility with a minimum of 25,000 square feet of meeting room, business center and/or banquet room space.
- (c) Shall also provide a restaurant, pool and/or other recreational facilities.
- (d) Shall be a minimum lot of 5 acres.
- (e) Shall be a maximum of 5 stories or 65 feet in height.

p. *Retail, Restaurant, Financial Services with Drive-Through-Facilities*

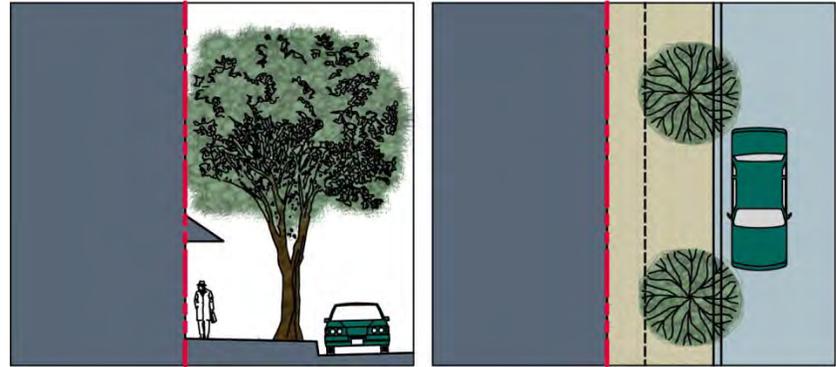
1. Purpose. This use has been established to deal with the aesthetics of drive-through facilities.
2. Special Requirements for Retail, Restaurant, Financial Services with Drive-Through Facilities, which shall be permitted in the “TC” and “TCC” Districts provided the following conditions are met based on specific findings by the Planning Board.
 - (a) Shall meet the bulk requirements for retail, restaurant and financial services in the zone districts.
 - (b) Drive-through facilities shall be located in the rear yard; no drive-through facilities are permitted in the front yard or side yard.

Frontage Types

The following drawings illustrate the various frontage types permitted within the TCC, TC and TCR zones. Each frontage is shown in elevation and plan view with a red line that delineates the build-to-line or property line. Each frontage also has photographs showing real life applications in various town centers.

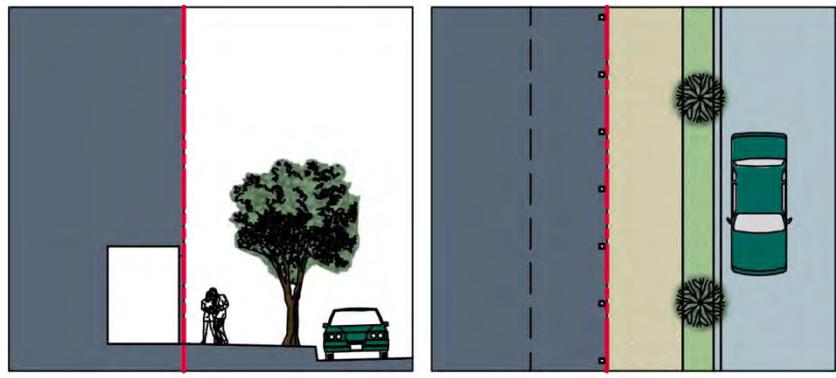
Shopfront

The primary street façade is at or near the build-to-line. Awnings, canopies and/or signs extend out above the sidewalk. This frontage type is only appropriate for areas that have retail and services on the first floor.



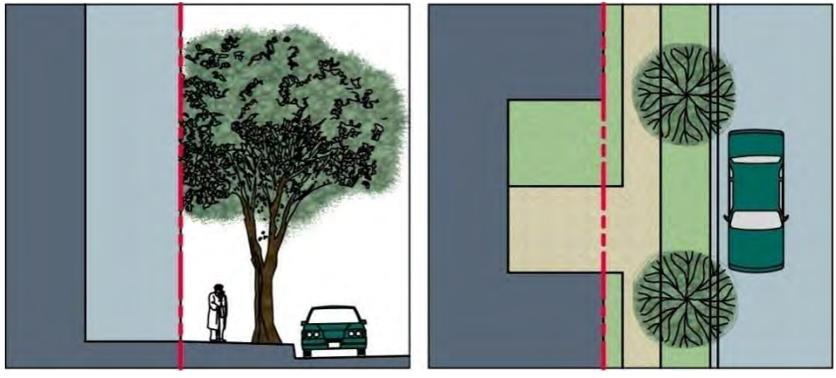
Arcade

The building’s primary street façade is located at the build-to-line and a colonnade that supports habitable space above is setback from the sidewalk.



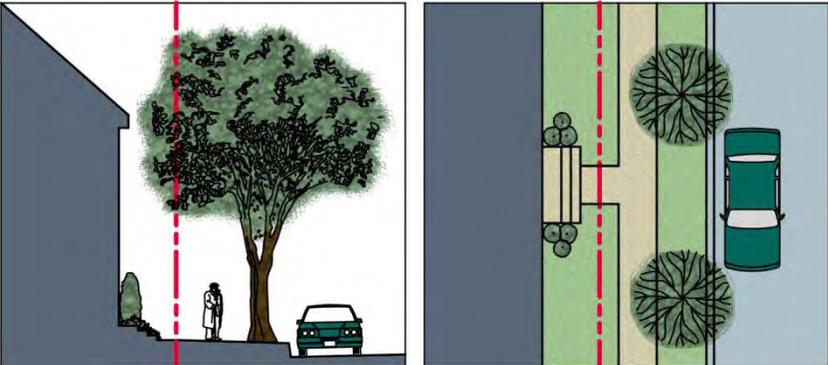
Forecourt

The majority of the building façade is located at the build-to-line, while a small portion is set back, creating a small open space. This space could be used as an entry, shared garden space, passive lawn or as a plaza. For residential uses, a low wall or hedge can be placed along the build-to-line to define public versus private space.



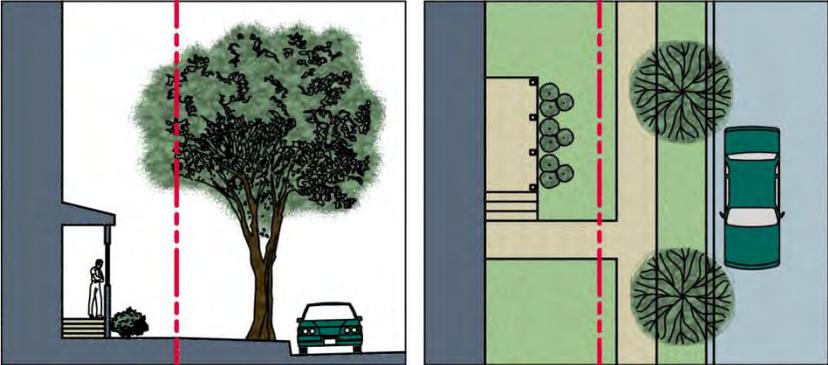
Residential – Stoop

The primary street façade is setback from the build-to-line. An elevated stoop is located between the building façade and the build-to-line. Stairs from the stoop can lead directly to the sidewalk or can be side-loaded.



Residential – Porch

The primary street façade of the building is setback from the build-to-line. An elevated porch is located between the building façade and the build-to-line. Stairs from the porch can lead directly to the sidewalk or can be side-loaded.



Shopfront



Shopfront



Arcade



Forecourt



Residential – Stoop



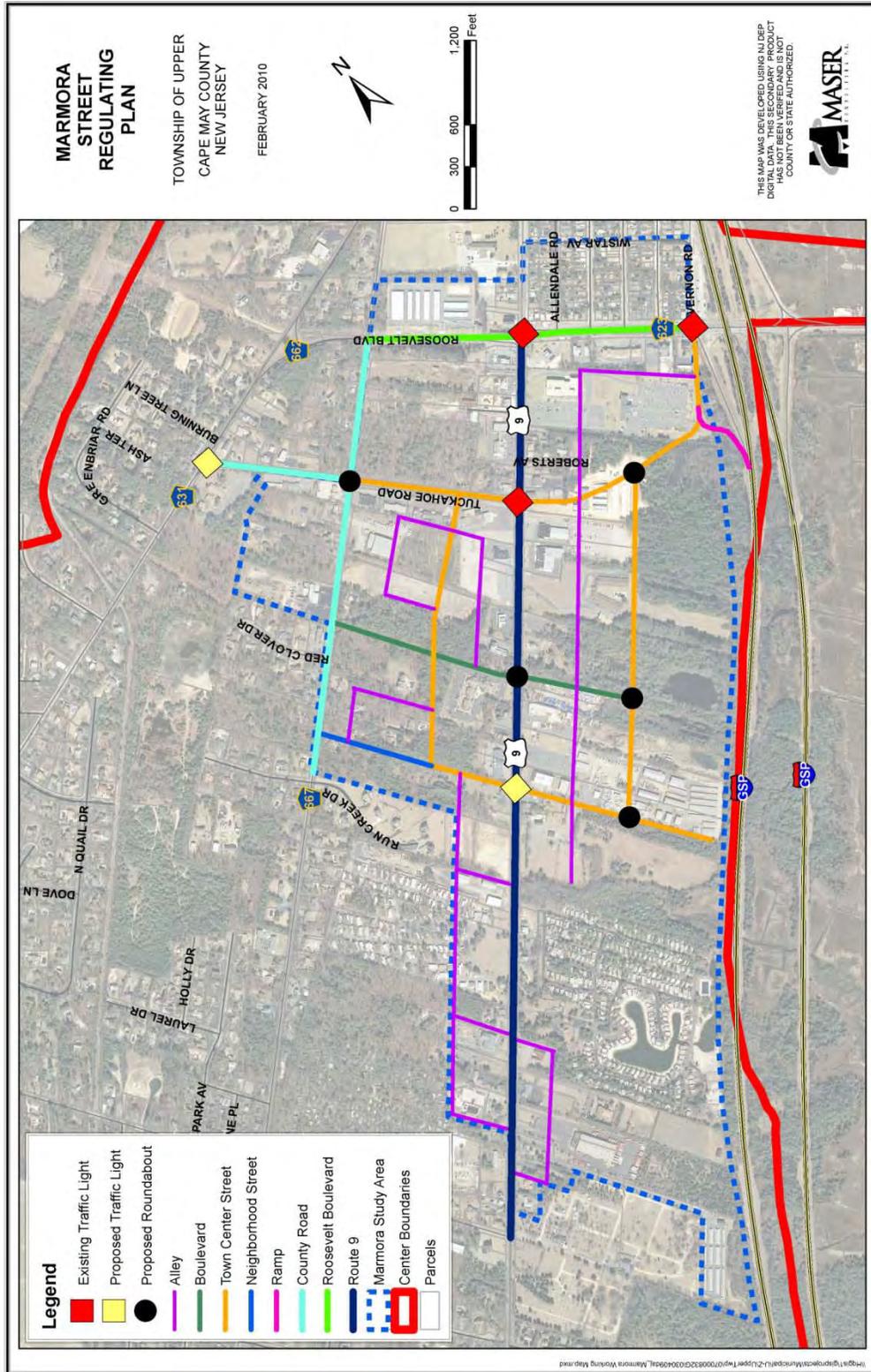
Residential – Porch

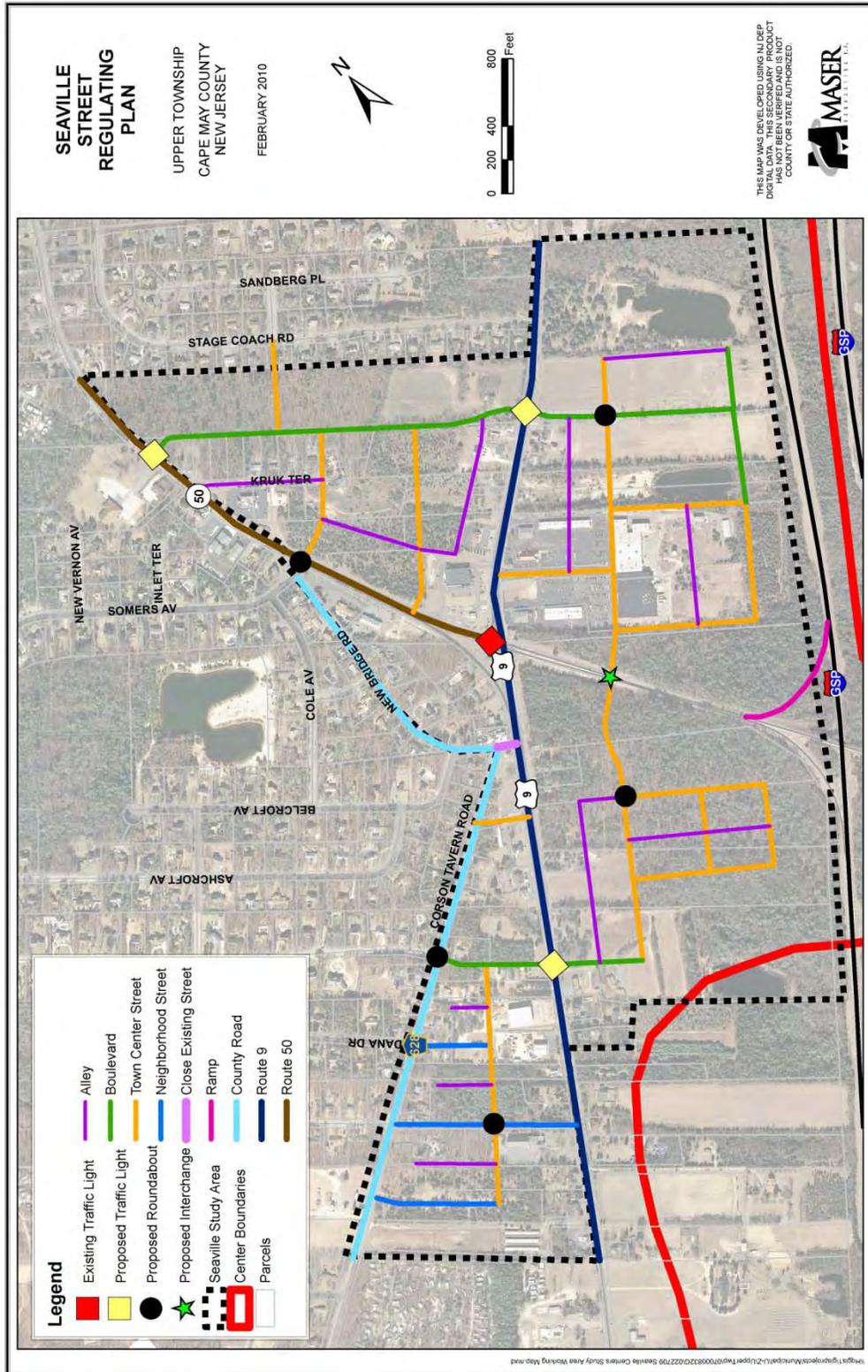


CHAPTER 5: STREET AND CIRCULATION STANDARDS

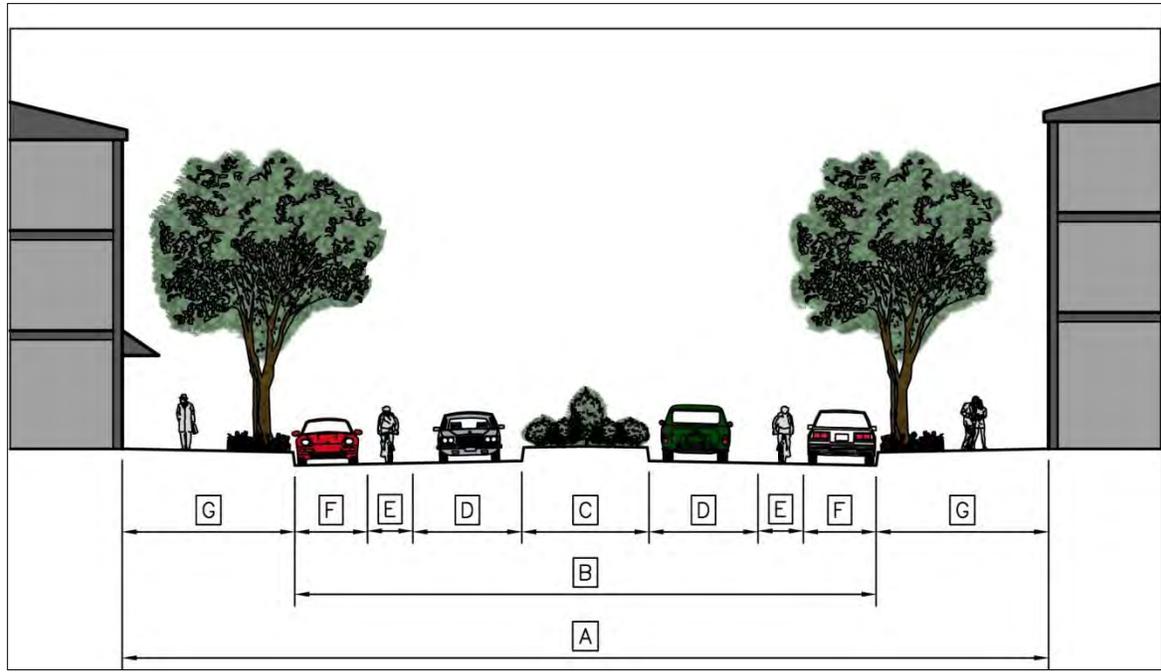


This chapter establishes regulations for existing and proposed streets within the Town Centers. Each street is depicted with a rendered section followed by the specific standards. The Street Regulating Plan is important because it is the “bones” upon which the development hinges. The new development code is based on the location of the street. The majority of the standards are referenced to the build-to-line, which is the street right-of-way. The types and functions of each street are important and impacts development differently. Careful consideration was given to existing streets and how they should change over time to function to serve not only the automobile, but the pedestrian and cyclist as well. The goal of the Street Regulating Plan is to create a grid or network of streets to disperse the traffic and allow for alternative routes.





Route 9



Street Design		
Design Speed	30-35 mph	
Right-of-Way	102'	A
Cartway Width	64'	B
Median/Left-turn Lane	14'	C
Travel Lanes	12'	D
Bike Lanes	5'	E
Parking Lanes	8'	F
Planting Strip	None	
Sidewalk	19'	G

Landscape Standards ¹	
Trees	Every 40' in planting bed
Plants	-
Street Lighting*	Required
Street Furniture Standards ²	
Benches	1 per 100 linear feet
Trash Receptacles	1 per 200 linear feet
Bike Racks	1 per 200 linear feet
Planters	Encouraged
News Stands	Encouraged
Public Art	Encouraged
Sidewalk Cafes/Dining**	Encouraged
Sidewalk Displays	Encouraged

Notes

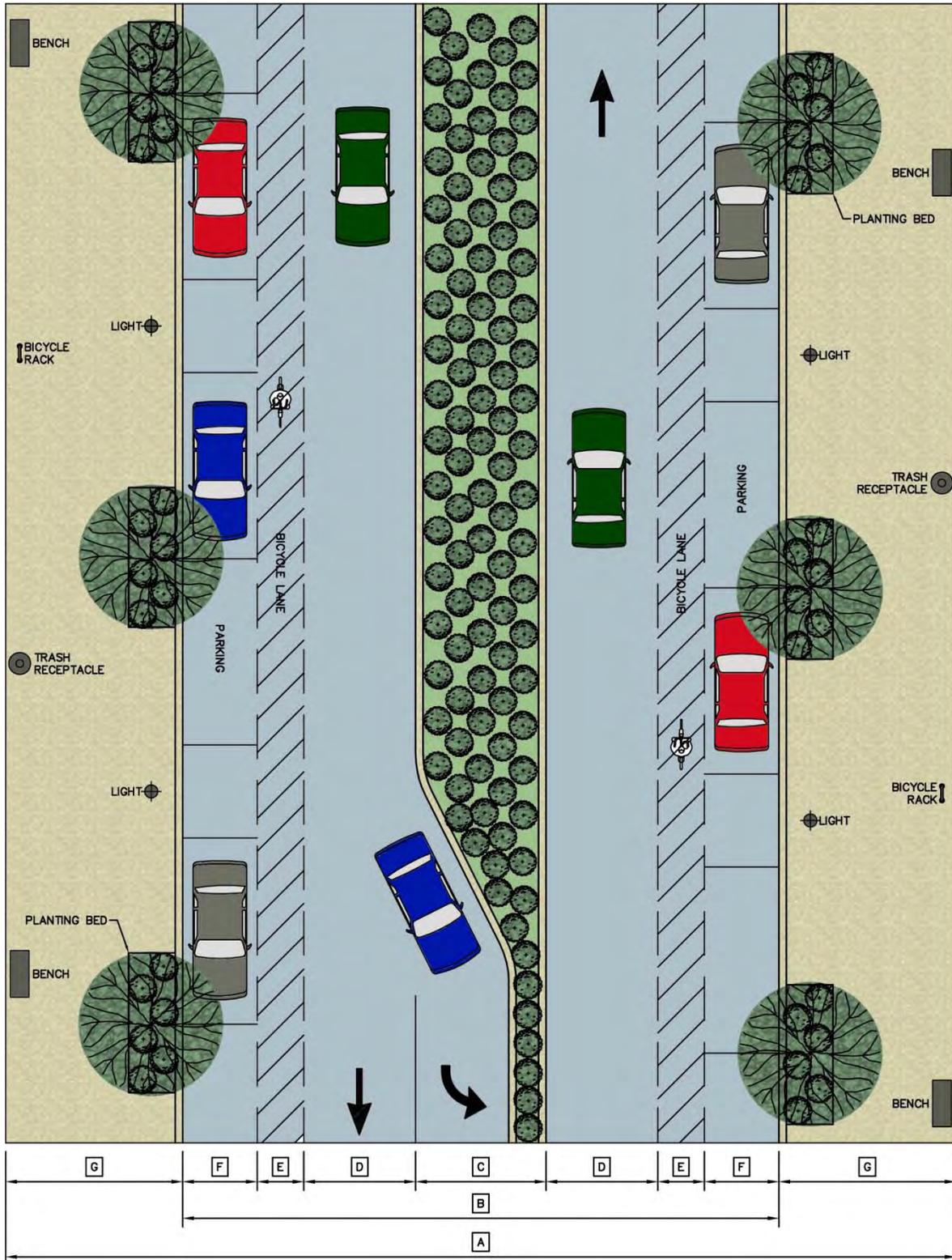
¹ See page ___ for details

² See page ___ for details

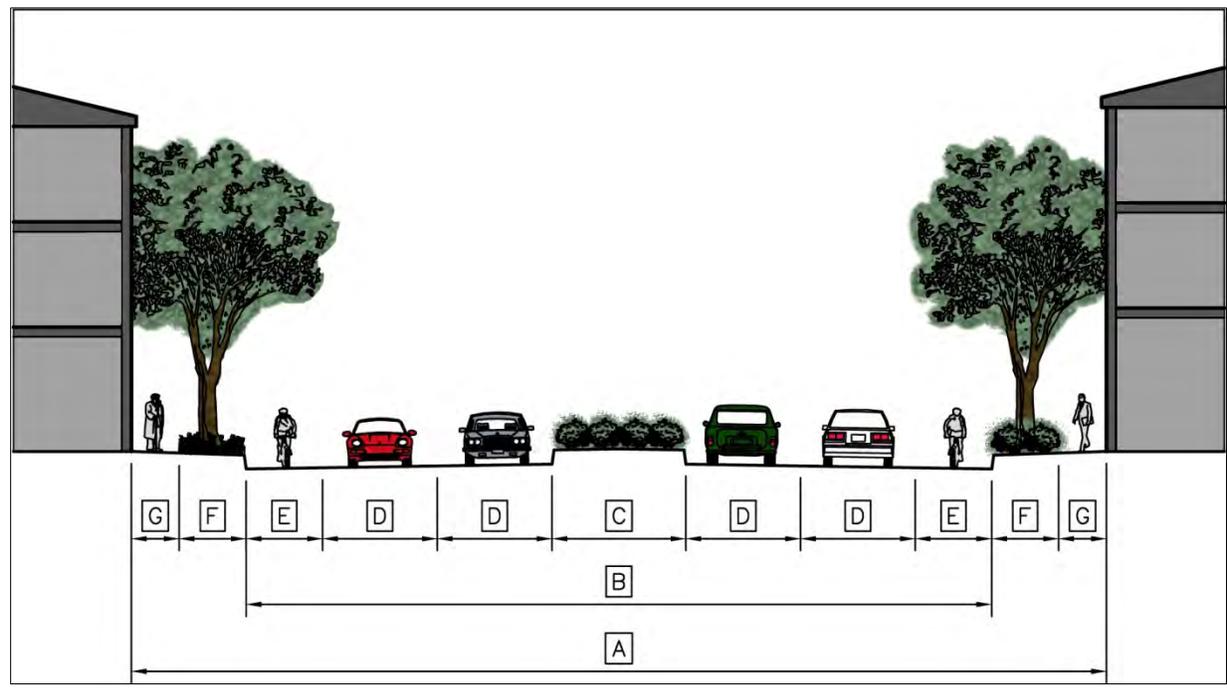
* Alternate with trees

** Must maintain minimum 5' clearance for circulation

The graphic below is a plan view of the proposed Route 9 street section. It shows how the center median converts to a left-turn lane at intersections. The planting beds in the sidewalks contain the street trees as well as shrubs and flowers.



Route 50



Street Design		
Design Speed	30-35 mph	
Right-of-Way	102'	A
Cartway Width	78'	B
Median/Left-turn Lane	14'	C
Travel Lanes	12'	D
Shared Shoulder/Bike Lanes	8'	E
Parking Lanes	None	
Planting Strip	7'	F
Sidewalk	5'	G

Landscape Standards ¹	
Trees	Every 40' in planting strip
Plants	-
Street Lighting*	Required
Street Furniture Standards ²	
Benches	1 per 100 linear feet
Trash Receptacles	1 per 200 linear feet
Bike Racks	1 per 200 linear feet
Planters	Encouraged
News Stands	Encouraged
Public Art	Encouraged
Sidewalk Cafes/Dining**	Encouraged
Sidewalk Displays	Encouraged

Notes

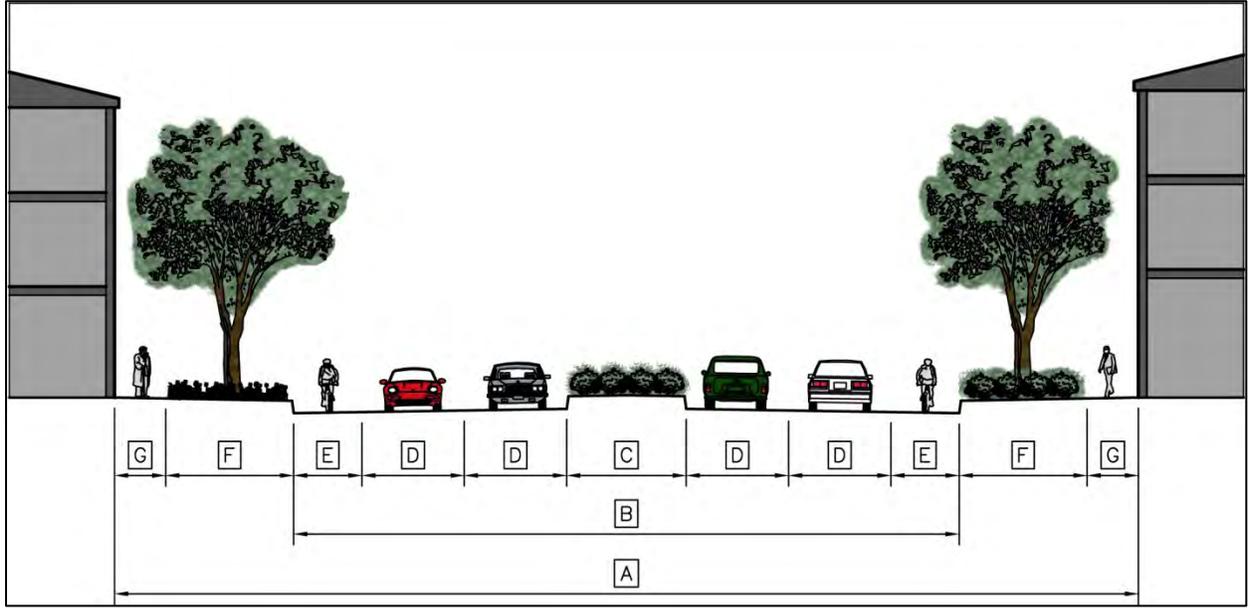
¹ See page ___ for details

² See page ___ for details

* Alternate with trees

** Must maintain minimum 5' clearance for circulation

Roosevelt Boulevard (CR 623)



Street Design		
Design Speed	30-35 mph	
Right-of-Way	120'	A
Cartway Width	78'	B
Median/Left-turn Lane	14'	C
Travel Lanes	12'	D
Shared Shoulder/Bike Lanes	8'	E
Parking Lanes	None	
Planting Strip	15'	F
Sidewalk	6'	G

Landscape Standards ¹	
Trees	Every 40' in planting strip
Plants	-
Street Lighting*	Required
Street Furniture Standards ²	
Benches	1 per 100 linear feet
Trash Receptacles	1 per 200 linear feet
Bike Racks	1 per 200 linear feet
Planters	Encouraged
News Stands	Encouraged
Public Art	Encouraged
Sidewalk Cafes/Dining	-
Sidewalk Displays	Encouraged

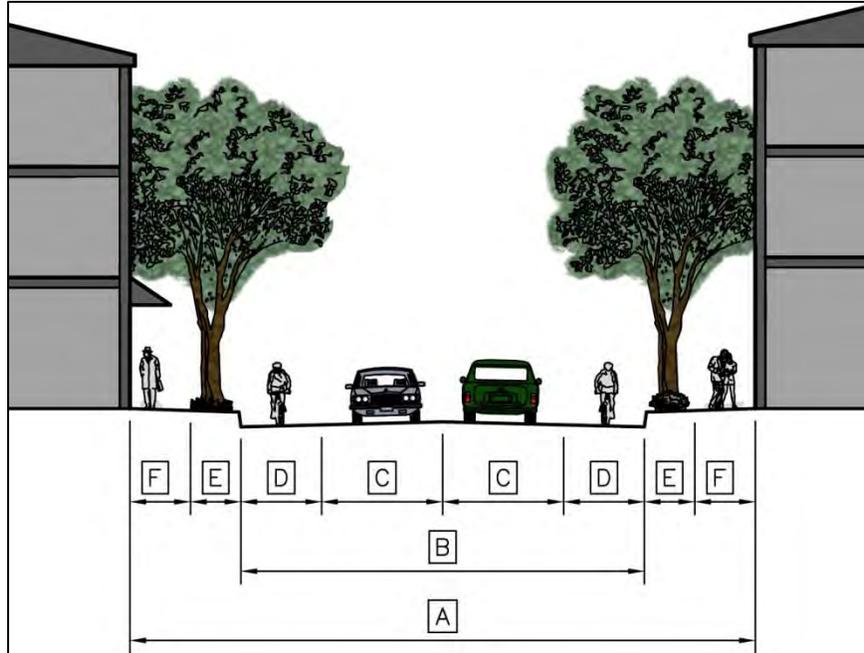
Notes

¹ See page ___ for details

² See page ___ for details

* Alternate with trees

County Roads (CR 667, CR 631)



Street Design		
Design Speed	30-35 mph	
Right-of-Way	60'	A
Cartway Width	40'	B
Median	None	
Travel Lanes	12'	C
Shared Shoulder/Bike Lanes	8'	D
Parking Lanes	None	
Planting Strip	5'	E
Sidewalk	5'	F

Landscape Standards ¹	
Trees	Every 40' in planting strip
Plants	Low maintenance mixture
Street Lighting*	Required
Street Furniture Standards ²	
Benches	1 per 100 linear feet
Trash Receptacles	1 per 200 linear feet
Bike Racks	1 per 200 linear feet
Planters	-
News Stands	-
Public Art	-
Sidewalk Cafes/Dining	-
Sidewalk Displays	-

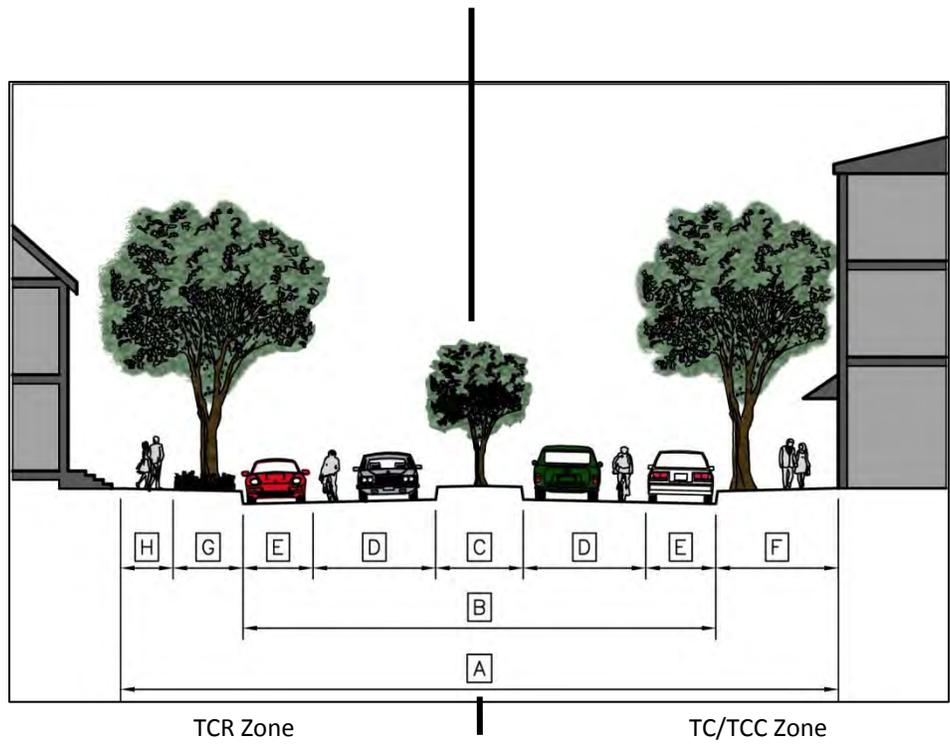
Notes

¹ See page ___ for details

² See page ___ for details

* Alternate with trees

Boulevard



Street Design		
Design Speed	25-30 mph	
Right-of-Way	82'	A
Cartway Width	54'	B
Median	10'	C
Shared Travel/Bike Lanes	14'	D
Parking Lanes	8'	E
Sidewalk	14'	F
Planting Strip	6'	G
Sidewalk	6'	H

Landscape Standards ¹	
Trees	Every 40' in planting strip
Plants	Low maintenance mixture
Street Lighting*	Required
Street Furniture Standards ²	
Benches	Required on "F"
Trash Receptacles	Required on "F"
Bike Racks	Required on "F"
Planters	Encouraged on "F"
News Stands	Encouraged on "F"
Public Art	Encouraged on "F"
Sidewalk Cafes/Dining**	Encouraged on "F" Not Permitted on "H"
Sidewalk Displays	Encouraged on "F" Not Permitted on "H"

Notes

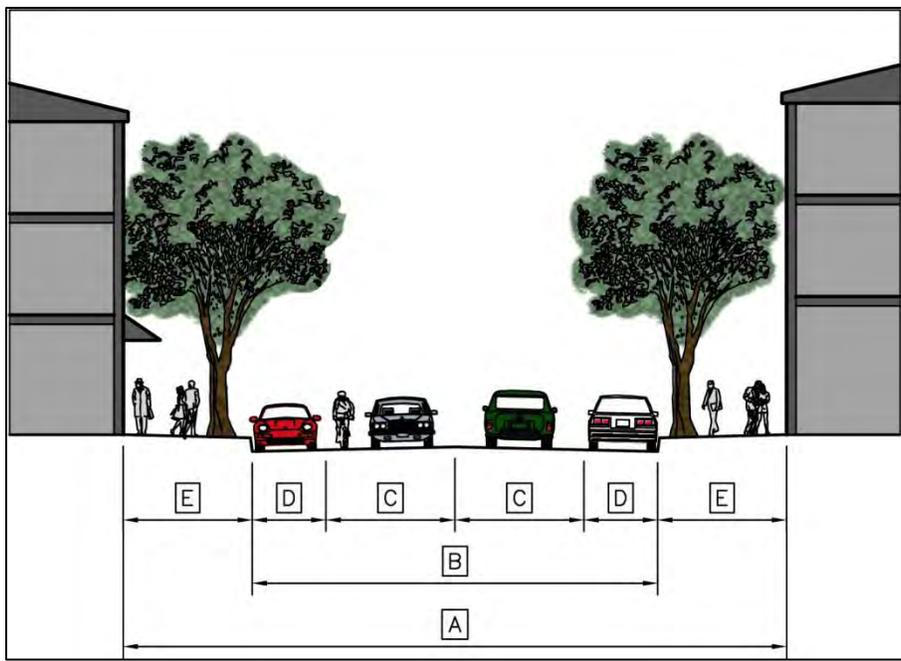
¹ See page ___ for details

² See page __ for details

* Alternate with trees

** Must maintain minimum 5' clearance for circulation

Town Center Street



Street Design		
Design Speed	25-30 mph	
Right-of-Way	72'	A
Cartway Width	44'	B
Median	None	
Shared Travel/Bike Lanes	14'	C
Parking Lanes	8'	D
Planting Strip	None	
Sidewalk	14'	E

Landscape Standards ¹	
Trees	Every 40' in grate
Plants	-
Street Lighting*	Required

Street Furniture Standards ²	
Benches	1 per 100 linear feet
Trash Receptacles	1 per 200 linear feet
Bike Racks	1 per 200 linear feet
Planters	Encouraged
News Stands	Encouraged
Public Art	Encouraged
Sidewalk Cafes/Dining**	Encouraged
Sidewalk Displays	Encouraged

Notes

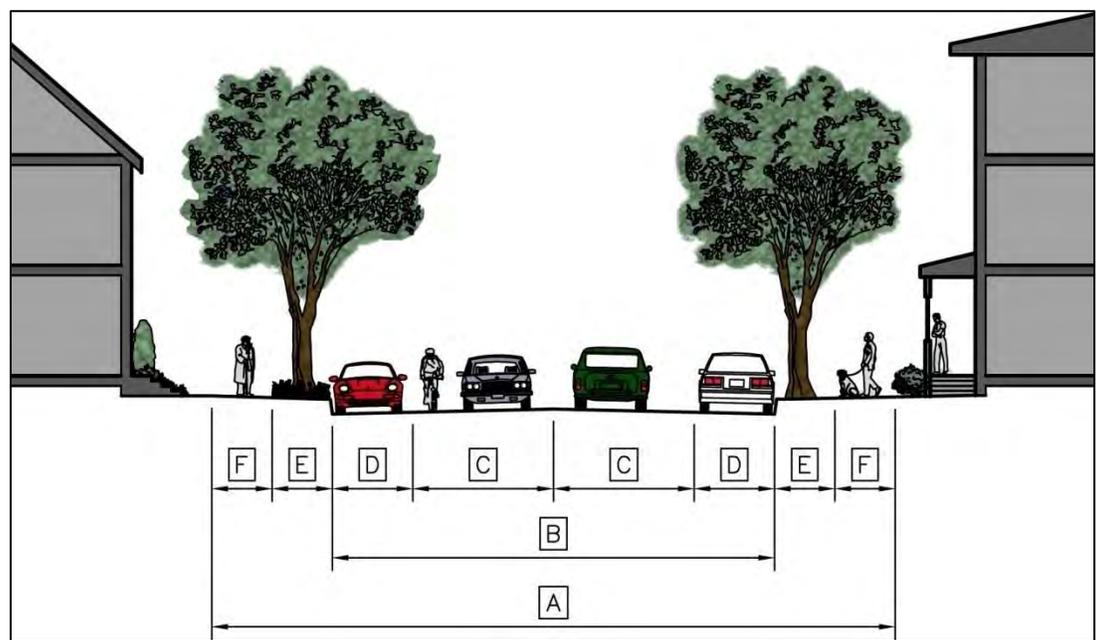
¹ See page __ for details

² See page __ for details

* Alternate with trees

** Must maintain minimum 5' clearance for circulation

Neighborhood Street



Street Design		
Design Speed	25-30 mph	
Right-of-Way	66'	A
Cartway Width	44'	B
Median	None	
Shared Travel/Bike Lanes	14'	C
Parking Lanes	8'	D
Planting Strip	5'	E
Sidewalk	5'	F

Landscape Standards ¹	
Trees	Every 40' in planting strip
Plants	Low maintenance mixture
Street Lighting*	Required
Street Furniture Standards ²	
Benches	1 per 100 linear feet
Trash Receptacles	Encouraged
Bike Racks	Encouraged
Planters	-
News Stands	Encouraged
Public Art	Encouraged
Sidewalk Cafes/Dining	Not Permitted
Sidewalk Displays	Not Permitted

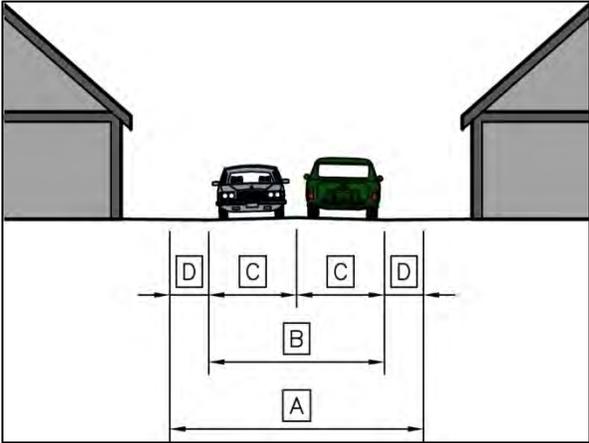
Notes

¹ See page ___ for details

² See page ___ for details

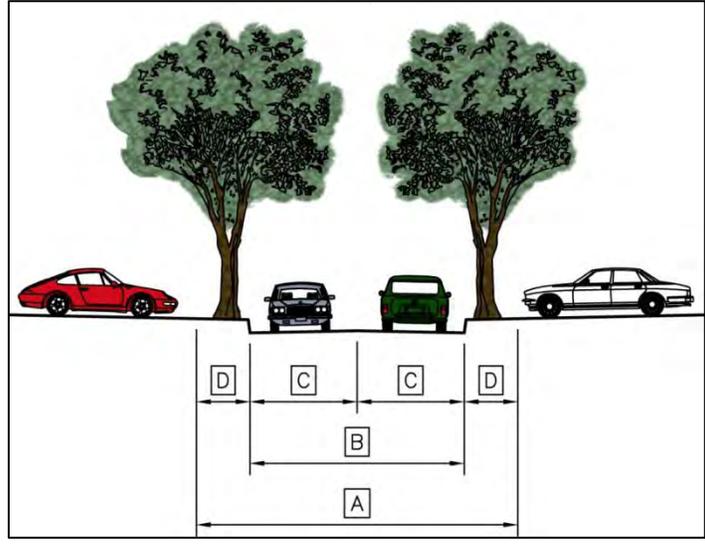
* Alternate with trees

Residential/Service Alley



Street Design		
Design Speed	20 mph	
Right-of-Way	28'	A
Cartway Width	20'	B
Travel Lanes	10'	C
Apron	4'	D

Mixed-Use/Service Alley



Street Design		
Design Speed	20 mph	
Right-of-Way	36'	A
Cartway Width	24'	B
Travel Lanes	12'	C
Planting Strip	6'	D

Landscape Standards ¹	
Trees	Every 40' in planting strip
Plants	Low maintenance mixture
Street Lighting*	Required

Street Furniture Standards ²	
Benches	-
Trash Receptacles	-
Bike Racks	-
Planters	-
News Stands	-
Public Art	-
Sidewalk Cafes/Dining	-
Sidewalk Displays	-

Notes

¹ See page ___ for details

² See page ___ for details

* Alternate with trees

Landscape Standards

Street trees are an essential element of a streetscape; they provide shade to pedestrians in the summer months, improve air quality and provide natural beauty in a developed environment. Each street typology states whether trees are planted in a tree grate, planting strip or planting bed. The following planting standards apply:

- All trees shall be planted at least 2.5' from the curb face
- Trees to be planted in planting beds shall be planted in a bed measuring a minimum of 4' x 8'
 - Trees shall be supplemented by native, low-maintenance plants.
- Trees to be planted in grates shall be planted in a grate measuring a minimum of 5' by 5'
 - Trees to be planted in grates shall be planted in structural soil. Structural soil material is designed as follows. The three components of the structural soil are mixed in the following properties by weight: crushed stone: 100; clay loam: 20; hydrogel: 0.03. Total moisture at mixing should be 10% (AASHTO T-99 optimum moisture).

Street Trees

The following is a list of acceptable street trees for within the Town Centers:

Acer campestre	Hedge Maple
Acer rubrum "Armstrong"	"Armstrong" Columnar Red Maple
Acer rubrum October Glory	October Glory Red Maple
Acer saccharum Bonfire	Bonfire Sugar Maple
Acer saccharum Goldspire	Goldspire Sugar Maple
Acer saccharum Green Mountain	Green Mountain Sugar Maple
Fraxinus americana Autumn Purple	Autumn Purple White Ash
Fraxinus americana Greenspire	Greenspire White Ash
Fraxinus pennsylvanica "Patmore"	"Patmore" Green Ash
Nyssa sylvatica	Black Gum or Sour Gum
Platanus acerifolia "Bloodgood"*	"Bloodgood" London Planetree
Platanus occidentalis*	Sycamore
Quercus bicolor*	Swamp White Oak
Quercus imbricaria	Shingle Oak
Quercus palustris*	Pin Oak
Quercus phellos*	Willow Oak
Taxodium distichum	Baldcypress
Tilia americana "Redmond"	"Redmond" Linden
Tilia cordata Greenspire	Greenspire Littleleaf Linden
Tilia tomentosa Green Mountain	Green Mountain Silver Linden
Ulmus americana "Princeton"	"Princeton" Elm
Zelkova serrata "Halka"	"Halka" Zelkova
Zelkova Serrata "Village Green"	"Village Green" Zelkova

*Indicates street trees suitable for high wind and salt spray conditions.

Note that there are fall digging hazards for Quercus (Oak) species. Specific conditions, such as soil type, exposure, salt spray and other factors must be considered in the species selection process. A New Jersey certified arborist or landscape architect should be consulted in plant selection,

Landscape Materials

The following is a list of acceptable trees and shrubs for landscaped areas within the Town Centers:

Understory Trees

Amelanchier Canadensis	Shadtrees
Betula nigra	River Birch
Carpinus caroliniana	American Hornbeam
Cercis canadensis	Eastern Redbud
Chiananthus virginicus	White Fringetree
Franklinia alatamaha	Franklinia
Halsia diptera Magniflora	Two-Winged Silverbell
Hamamelis virginiana	Common Witchhazel
Magnolia virginiana	Sweetbay Magnolia
Ostrya virginiana	Hophornbeam
Oxydendrum arboreum	Sourwood
Sassafras albidum	Sassafras

Evergreen Trees

Cryptomeria japonica ‘Yoshnio’	Yoshino Japanese Cedar
Ilex opaca	American Holly
Juniperus scopulorum ‘Cologreen’	Cologreen Juniper
Juniperus virginiana ‘Cupressifolia’	Hillspire Juniper
Picea glauca ‘Densata’	Black Hills Spruce
Pinus resinosa	Red Pine
Pinus strobes	White Pine
Pseudotsuga menziesii	Douglas Fir

Shrubs

Clethra alnifolia “Hummingbird”	“Hummingbird” Summersweet
Cornus paniculata	Gray Dogwood
Cornus sericea	Red Osier Dogwood
Ilex glabra	Inkberry
Juniperus conferta “Blue Pacific”	“Blue Pacific” Japanese Shore Juniper
Juniperus sargentii	Sargent Juniper
Kalmia latifolia	Mountain Laurel
Myrica pennsylvanica	Northern Bayberry
Rhododendron maximum	Rosebay Rhododendron
Rosa Rugosa	Japanese Shore Rose
Vaccinium corymbosum	Highbush Blueberry
Viburnum acerifolium	Maple-leaved Viburnum
Viburnum dentatum	Arrowwood Viburnum

Lighting

The purpose of lighting is to provide safe movement through the Town Centers both on foot and in the automobile. Lighting is essential to one’s feeling of security. Adequate lighting will encourage night-time activity while creating a safe and positive image of Marmora and Seaville after dark that can extend the hours of economic activity.

Street lighting should be pedestrian-scaled, no more than 15 feet in height. Street lighting fixtures should be full cut off. Lighting should provide a maintained average in the TCC and TC Zones of 0.5 foot-candles over the sidewalks and a maintained average of 1.0 foot-candles over the street. In the TCR Zone street lighting should provide a maintained average of 0.3 foot-candles and 1.0 foot-candles at every intersection. To the right is an example of a pedestrian-scaled street light. The use of bollard lights in pedestrian areas is encouraged in appropriate locations.



Parking lot lighting should be no more than 24 feet in height. Parking lot lighting fixtures should be full cut off. It should provide a maintained average of 0.5 foot-candles.

In addition to street lamps and parking lot lighting, lighting on buildings is encouraged. This may be in the form of lighting above signage, lighting flanking building entrances or accent lighting for architectural features.



Street Furniture

Street furniture can provide visual unity and should be coordinated with street trees and lights where possible along the street frontage and also in public plazas where appropriate. These types of furnishings can allow for creativity and branding of a municipality. The Township should select a palette of street furniture that should be used on the streetscape to create a unified appearance.

Benches

Benches encourage social interaction and add eyes on the street, making it a safer place. It is preferable to locate benches close to street trees so that they will benefit from summertime shading.



Trash Receptacles

Trash receptacles are important in keeping the sidewalks clean. They can also encourage recycling and reuse.

Bike Racks

The installation of bike racks encourages an alternative transportation mode. Bike racks provide a safe and appropriate location for bicycle storage and prevent the destruction that occurs when bikes are chained to street lamps and trees.

Newspaper Stands

Newspaper stands should be grouped to decrease cluttering of the sidewalk. Newspaper stand enclosures should be used in accord with selected Township standards.

Planters

Planters provide the opportunity for smaller scaled vegetation along the sidewalk. They are highly recommended to be used to define shop entrances, enclose outdoor dining areas and embellish the spaces between street trees.



CHAPTER 6: OPEN SPACE & PARK STANDARDS



This section of the code establishes the Open Space and Park Standards for designated areas within the Marmora and Seaville Town Centers. There are three open space and park typologies depending upon size and type of development.

The following pages contain the standards associated with each open space and park typology.

Chapter 19-6.9 of the Revised General Ordinances outlines the provision for recreation facilities for new developments within the TCC, TC and TCR zones. This section details the requirements for recreation facilities in the TCC, TC and TCR Zones.

TCC & TC Zone Recreation Standards		
Mixed-use Development	Size & Type of Facility	Standards
3.0 to 4.9 acre tract	Pocket Plaza	See page __
5.0 + acre tract	Town Center Plaza	See page __

TCR Zone Recreation Standards		
Total Number of Units in Development	Size & Type of Facility	Standards
3.0 + acre tract	Residential Square	See page __

Pocket Plaza



Pocket Plazas are the smallest type of open space within the Town Centers. They are similar in nature to Town Center Plazas, but act as secondary focal points with the Centers. Typically, these parks are located mid-block, between buildings. Pocket parks provide intimate spaces for seating and dining. They can be created around a sculpture or planting beds.

The general character of these plazas is as follows:

- Primarily hardscape surface with trees and plantings
- Defined by buildings
- Outdoor dining areas are strongly recommended

Spatial Standards	
Minimum Area	2% of lot area
Minimum Width	50'
Minimum Depth	40'
Landscape Standards	
Trees*	1 per 1,250 sf of plaza ¹
Planting bed*	150 sf per 1,250 sf of plaza
Pedestrian-Scaled Lighting	Required ²
Notes	
¹ In either grates (min. 5' x 5') or planting beds (min. 3 wide).	
² Must maintain an average of 0.50 foot candle illumination within plaza.	
* Irrigation required unless drought resistant native species are specified.	

Amenity Standards	
Benches	Required ³
Trash Receptacles	Required
Bike Racks	-
Playground Equipment	-
Planters	Encouraged
News Stands	-
Public Art	Encouraged
Sidewalk Cafes/Dining	Encouraged
Retail Displays/Kiosks	Encouraged
Notes	
³ 1 seat or 24" of bench area per 200 sf of plaza.	

Town Center Plaza



Town Center Plazas will add vitality to the streets and create open spaces for civic purposes and commercial activity. They will provide a gathering place for the community and should be located either at the intersection of important streets or between nodes of activity. The general character of these plazas is as follows:

- Primarily hardscape surface with trees and plantings
- Defined by buildings and streets
- Outdoor dining areas and water features are strongly recommended

Spatial Standards	
Minimum Area	3.5% of lot area
Minimum Width	100'
Minimum Depth	100'
Landscape Standards	
Trees*	1 per 1,500 sf of plaza ¹
Planting bed*	150 sf per 1,000 sf of plaza
Pedestrian-Scaled Lighting	Required ²
Notes	
¹ In either grates (min. 5' x 5') or planting beds (min. 3 wide).	
² Must maintain an average of 0.50 foot candle illumination within plaza.	
* Irrigation required unless drought resistant native species are specified.	

Amenity Standards	
Benches	Required ³
Trash Receptacles	Required
Bike Racks	1 per plaza
Playground Equipment	-
Planters	Required
News Stands	Encouraged
Public Art	Encouraged
Sidewalk Cafes/Dining	Encouraged
Retail Displays/Kiosks	Encouraged
Notes	
³ 1 seat or 24" of bench area per 200 sf of plaza.	

Residential Square



Residential Squares will provide a space for residents living within the Town Centers to meet and relax. They function as a large open space for passive or active uses. Trees and plantings should define the edges of the square. The general character of these residential squares is as follows:

- Primarily lawn surface with trees and plantings
- Defined by buildings and streets
- Shaded areas for seating, gazebos and water features are strongly recommended

Spatial Standards	
Minimum Area	7.0% of lot area
Minimum Width	75'
Minimum Depth	100'
Landscape Standards	
Trees	10 per 100 linear ft. of perimeter ¹
Plants	Low maintenance mixture
Pedestrian-Scaled Lighting	Required at perimeter ²
Notes	
¹ Trees shall be located in a 25' wide perimeter buffer. Trees shall be in groupings that maintain visibility between the square and the street.	
² Required where the square doesn't abut a street, then must provide 1 light per 100 linear feet.	

Amenity Standards	
Benches	Required ³
Trash Receptacles	Required
Bike Racks	1 per square
Playground Equipment	-
Planters	-
News Stands	-
Public Art	-
Sidewalk Cafes/Dining	-
Retail Displays/Kiosks	-
Notes	
³ 1 per 1,000 square feet of residential square.	

CHAPTER 7: SIGNAGE STANDARDS



Signage has the ability to enhance the Town Centers as they develop and redevelop over time. By tailoring signage to its setting, it can contribute to the creation of a distinct style for the Town Centers. Signage should balance both aesthetics and advertising. The following signage standards are based on the results of the Community Vision Survey, which asked participants to evaluate various signage typologies from businesses within and outside the Township.

Directional signs are permitted throughout the Town Centers to orient and educate visitors about parking locations, public buildings, attractions and historical places. Many communities are using directional signage as a marketing and branding element. The Township is the only permitted entity to install directional signage within the right-of-way. Examples are shown below:



This section shall serve to amend Chapter 20-5.10.b.3 and 4 of the Zoning Ordinance with regards to the TC and TCC Zones. The TCR Zone shall follow the signage regulations contained in Chapter 20-5.10.b.6.

TC and TCC Permitted Signage

(a) Wall signage

- (1) One of the three below for each street frontage of each business:
 - i. Internally-lit raised letters with concealed ballast.
 - ii. Back-lit raised letters with concealed ballast.
 - iii. Signage board with gooseneck lighting.
- (2) Area shall be 80% of the linear lessee frontage to a maximum of 30 square feet.
- (3) Wall signage is also permitted for walls facing rear parking areas with the same area as permitted on the front façade.
- (4) Wall signage must be located below the second story floor line.



(b) Hanging Signs

- (1) One sign is permitted per business per street frontage that is attached perpendicular to the street in addition to the wall signage.
- (2) Area shall be a maximum of 10 square feet.
- (3) Letter/logo height shall be a maximum of 6".
- (4) Hanging signage must be located below the second story floor line.



(c) Street Address Signage

- (1) Street address signage is required on each building or individual tenant.
- (2) Numbers shall be a maximum of 8" in height.



(d) Awning/Canopies

- (1) One sign with lettering per business shall be permitted on an awning or canopy, and logos shall be permitted on all awnings and canopies, provided that:
 - i. The letter and logo height does not exceed 50% of the diagonal portion of the awning or canopy.
 - ii. The letter and logo height is located on the vertical flap and does not exceed eight inches.
 - iii. The letter and logo area does not exceed 15% of the area of the diagonal portion of the awning or canopy.
 - iv. The signage shall only be on first-floor awnings and canopies.
- (2) Awnings and canopies shall be aesthetically compatible with the building and consistent with each other.
- (3) Awnings and canopies shall be aesthetically compatible with the building and consistent with each other.
- (4) Awnings and canopies shall be kept in good order and repair.
- (5) All awning and canopies shall be made of cloth or canvas.
- (6) A business cannot have a wall sign and awning/canopy with lettering.



(e) Window Lettering/Signs

- (1) All window lettering/signs shall be inside the window and only on first floor windows.
- (2) Window lettering/signs shall not exceed 15% of the window area.
- (3) Window lettering or signs shall pertain only to the establishment occupying premise where window located.



(f) Directory Signs

- (1) Permitted only for upper story non-residential uses.
- (2) Area shall be a maximum of 12 square feet located by the main entrance to the upper floors.
- (3) Letter height shall not exceed 4".

CHAPTER 8: ARCHITECTURAL GUIDELINES



The purpose of the architectural guidelines is to establish a set of principles and requirements that reflect citizen's desires for future development. These principles will enhance the Town Centers and encourage development and redevelopment at a scale that is pedestrian-oriented. The guidelines work to provide standards that allow for flexibility and creativity while encouraging high-quality development. The goal is to create buildings that embrace and enliven the street.

Guidelines

All buildings shall be designed to convey a small-town scale and character. Buildings shall contain the following design elements:

MATERIALS

- Building façades visible from a street shall consist of brick, stone, cast stone, clapboard, cedar shakes or other high-quality material.
- Cornices shall consist of wood, stone or fiberglass.

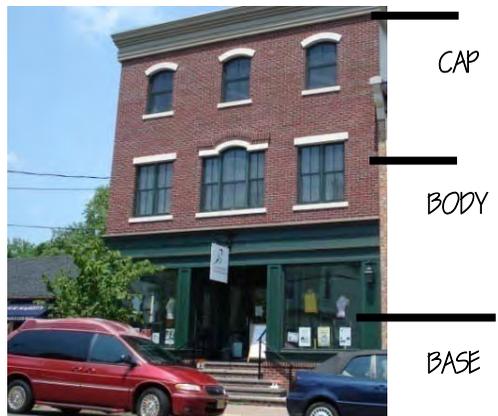
SCALE

- The building facade shall create a defining wall along the streetscape.
- Covered archways (minimum eight feet wide) may connect rear parking areas to the street, enabling pedestrian circulation in the **TCC and TC Zones**.
- Building exteriors shall have vertical and/or horizontal offsets to create visual breaks on the exterior.
- Long, blank, windowless, monotonous, uninterrupted walls or roof planes are not permitted.
- Building wall offsets, including projections and recesses such as balconies, canopies, awnings, architectural details are encouraged.
- Blind windows, display windows and/or intensive landscaping are encouraged in place of blank walls in the **TCC and TC Zones**.



ARTICULATION

- The building façade shall have a clearly defined base, body and cap.
- The middle section of the façade may be horizontally divided at floor, lintel or sill levels with belt courses.
- The architectural treatment of a façade shall be completely continued around all street facing façades of a building. All sides of a building shall be architecturally designed so as to be consistent with regard to style, materials, colors and details.



CORNER BUILDINGS

- Buildings on corners are significant structures because they have two frontages visible from the street.
- Corner buildings act as important landmarks within the Town Centers.
- Corner buildings shall feature a prominent architectural element, such as a chamfered corner, significant façade articulation or portico.



ROOFS

- The shape, pitch and color of a roof shall be architecturally compatible with the style, materials and colors of such building.
- If the building has a flat roof, a parapet shall project vertically to hide any roof-mounted mechanical equipment. Additionally, a cornice shall project out horizontally from the façade and shall be ornamented with moldings, brackets or other details.
- If the building has a pitched roof, a minimum pitch of 5:12 shall be provided. 8:12 pitch is encouraged.
- Pitched roofs are encouraged to have dormers, chimneys, cupolas and other similar elements to provide architectural interest. These elements shall be compatible with the style, materials, colors and details of the building.
- Roofline offsets shall be provided along any roof measuring more than 30 feet in length in order to provide architectural interest and articulation to a building.
- Roof top heating, ventilating and air-conditioning (HVAC) systems, exhaust pipes and stacks, satellite dishes and other telecommunications receiving devices shall be screened or otherwise specially treated to be inconspicuous as viewed from the primary or secondary street and adjacent properties.



TRANSPARENCY

- Ground floor uses in the **TCC and TC Zones** shall have large pane display windows on the primary and secondary frontages. Such windows shall be framed by the surrounding wall and shall be a minimum of sixty (60%) percent of the total ground level facade area.
- Transoms above display windows in the **TCC and TC Zones** are encouraged.
- Windowsills shall not be more than 3 feet above the sidewalk in the **TCC and TC Zones**. Base panels or bulkheads are encouraged between the sidewalk and the windowsills (see example to right).
- Windows are encouraged to be vertically proportioned (taller than wider) where possible.
- Buildings of architectural styles that normally have windows with muntins or divided lights shall utilize those types of windows.
- Glass blocks are not permitted on facades that abut a primary or secondary street in the **TCC and TC Zones**.
- Exterior security grates are prohibited.



ENTRANCES

- The primary entrance to any building shall front on a primary or secondary street.
- All entrances to a building shall be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, overhangs or canopies.
- These elements shall be compatible with the style and materials of the building.

**LIGHTING**

- Light fixtures attached to the exterior of a building are encouraged. These fixtures shall be architecturally compatible with the style, material and colors of such building.
- Low-pressure sodium or mercury vapor lighting is prohibited.



CHAPTER 9: GLOSSARY OF TERMS



Base Panel - the area of a building between the windows and the ground.

Build to Line (BTL) – a line appearing graphically on the regulating plan or stated as a setback dimension, along which a building façade must be placed.

Duplex – a two-family unit, where the unit could be split horizontally with the units side by side or vertically with the units stacked on one another.

Encroachment – any structural element (canopy, awning, sign, deck, porch, etc.) that extends horizontally from the building into a right-of-way or setback, measured from the building façade outward.

Façade – the vertical surface of a building that faces a street.

Frontage Type – the type of façade that is permitted on a primary street (front yard).

Half Story – a space under a sloping roof that has the line of intersection of the roof and wall face not more than three feet above the floor level and in which space the possible floor area with head room of five feet or less occupies at least 40% of the total floor area of the story directly beneath.

Mixed-use – a building containing more than one use in it.

Parking structure - a multi-storey structure (also called a parking garage or parking deck) that is designed specifically for automobile parking and where there are a number of floors or levels.

Pedestrian-scaled lighting – lighting that is 15’ or less in height.

Portico – a porch leading to the entrance of a building or extended as a colonnade, having a roof structure over a walkway that is supported by columns.

Primary Street – the frontage of the lot.

Zone Regulating Plan – a zoning map that shows the location of various zoning districts.

Secondary Street – occurs on corner lots, the side of a lot.

Shared Parking – parking spaces that are assigned to more than one use.

Street Regulating Plan – a map that shows the location of existing and proposed streets.

APPENDIX

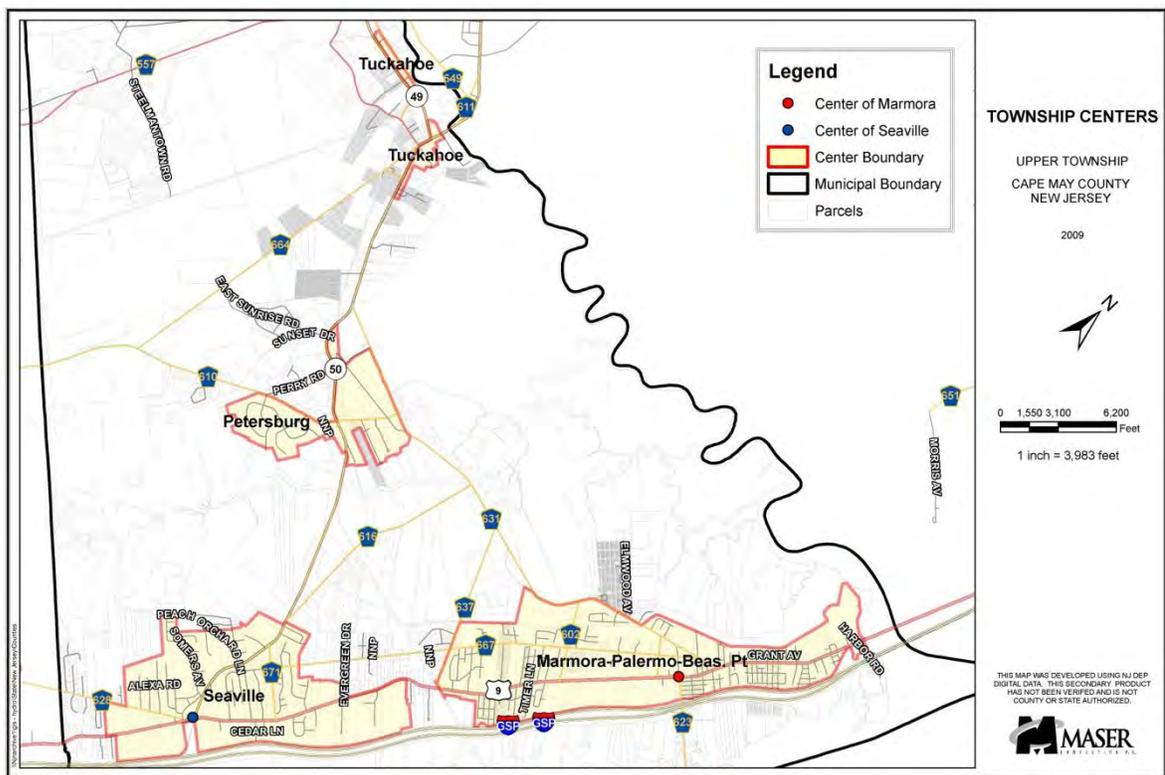
1. Community Profile
2. Community Vision Survey Results
3. Community Questionnaire Results
4. Mapping Exercise Results

UPPER TOWNSHIP *Community Profile*

Where are we?

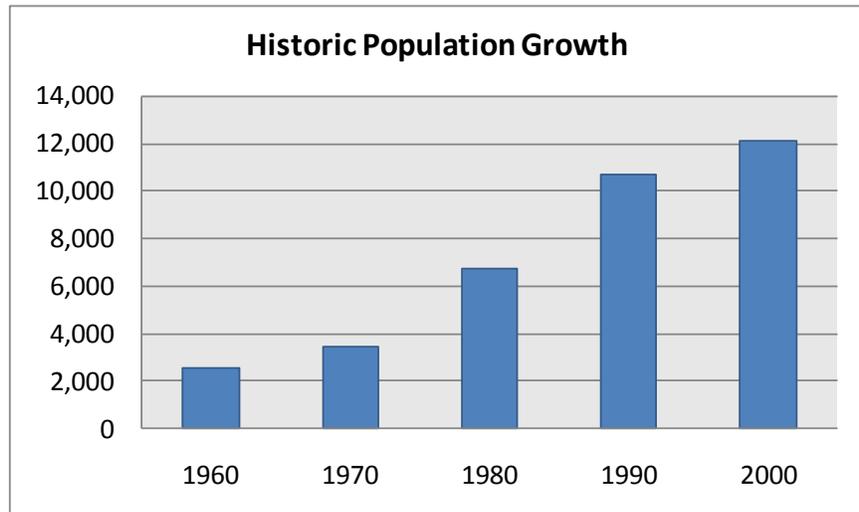
Upper Township is 68.5 square miles. Within Cape May County, Upper is bordered by Dennis Township, Woodbine Borough, Sea Isle City and Ocean City. Upper is a growing Township located along main transportation routes including the Garden State Parkway, Route 9, Route 49 and Route 50.

Upper received Plan Endorsement from the New Jersey State Planning Commission on February 21, 2007, which designated the town centers and planning area classifications. The designated centers include the **Marmora-Palermo-Beesley's Point** and **Seaville** Town Centers and the Tuckahoe and Petersburg Village Centers. Upper has defined its growth areas in centers which reflect existing growth and provide opportunities for future development.



Demographic Characteristics

Upper Township has been steadily growing since 1960, when the Township had 2,539 persons; in 2000 the population had grown to just over 12,000. The South Jersey Transportation Planning Organization (SJTPO) projects that the Township will add another 1,805 persons between 2000 and 2035.



During the 2000 Census, population by age cohort was analyzed. Upper Township largest age cohorts were 35 to 44 and 45 to 54 years, comprising 35% of Upper's entire population. School-age children consisted of 24.6% of the population. The smallest age cohort was the 85 years and older group, with only 1.1% of Upper's population.

Employment Characteristics

In 2007 Upper Township had 4,068 jobs; the SJTPO estimates that the Township will gain only 809 new jobs over the next 28 years that is an average of less than 30 new jobs per year. This estimate is quite different from the employment projections that were calculated during the Housing Element and Fair Share Plan process. Utilizing existing approved and pending non-residential development it was determined that the Township would add 720 jobs between 2008 and 2018.

In 2003 the Department of Labor and Workforce Development completed a study for employment by industry sector, which revealed that 17% of those employed within the Township worked in the retail trade. Another 15% of workers held jobs in accommodation and food services and 12% worked in construction. Wages ranged from \$16,442 for accommodation and food services employees to \$44,842 for workers in the professional and technical services industry.

Existing Land Uses

According to the 2007 tax data, Upper contained 7,307 parcels, of which, 76.1% were residential and 18.3% were vacant. The total value of these parcels equaled \$2.2 billion. Residential parcels contributed 84.8%, while commercial properties added 8.3% to the total valuation.

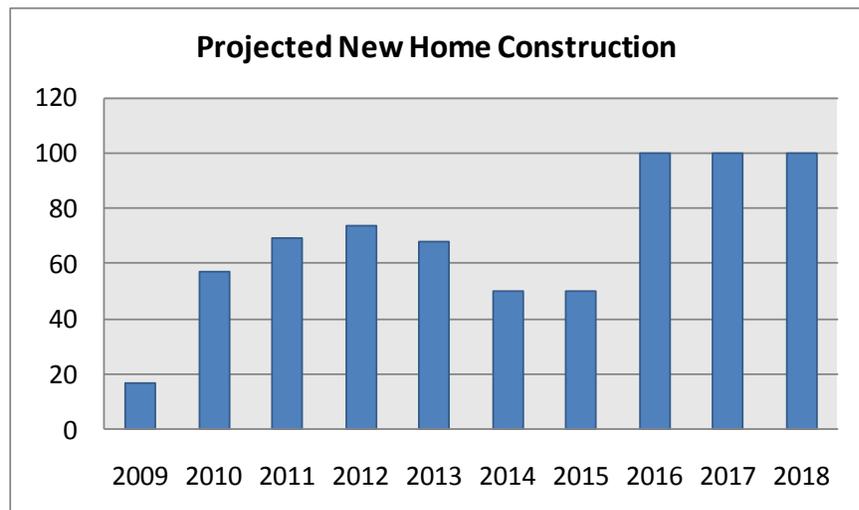
2007 LAND USE BY TAX DATA				
	Number Parcels	% of Parcels	Valuation	% of Valuation
Vacant	1,340	18.3%	\$116,926,300	5.2%
Residential	5,560	76.1%	\$1,899,588,000	84.8%
Apartment	5	0.1%	\$1,246,700	0.1%
Farm Homestead	31	0.4%	\$10,865,700	0.5%
Farm	81	1.1%	\$520,000	0.0%
Commercial	289	4.0%	\$185,939,000	8.3%
Industrial	1	0.0%	\$25,986,700	1.2%
Total	7,307	100%	\$2,241,072,400	100.0%

<http://www.state.nj.us/dca/lgs/taxes/taxmenu.shtml>

The 2006 Land Use Element noted land use by parcel data from 2005, breaking each use down by acreage. It is no surprise that the data shows 46.4% or 20,353 acres of the Township as public property, mostly owned by the State. Vacant lands made up 16.7% of the Township’s acreage, followed by residential with 14.3% or 6,271 acres. Commercial land uses were only 1,394 or 3.2% of the Township’s total acreage.

Projected Growth

Residential growth over the last ten years has built more than 650 housing units within the Township and another 692 new homes are estimated to occur between 2008 and 2018. Additionally, over 400,000 square feet of office, retail and storage space is expected to be built during the next ten years.

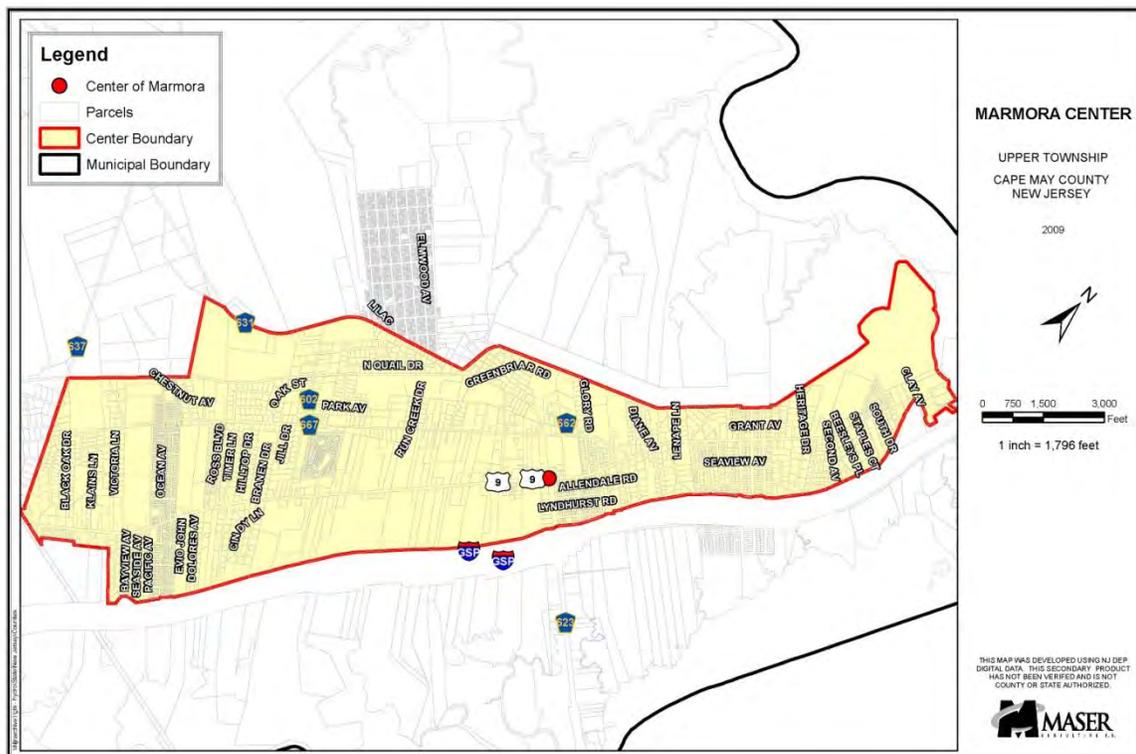


Future Land Use Plan

The 2006 Land Use Plan listed four goals for future development. The first was to guide mixed-use development and redevelopment into the Centers. Secondly, preserve the Township's existing natural resources which contribute both to the positive image and overall strength of the Township. Next, Upper should assure decent homes to all present and future residents of the Township without regard to the economic status by providing for a full range of housing choices for all household income levels. Finally, new development should provide diversity and strength to the local tax base.

Marmora Center

The Marmora Center totals 2,118 acres or 3.4 square miles in area. Currently there are about 3,500 persons living within the boundaries of the Center. Marmora has three distinct areas, linked by Route 9 north to south. The Garden State Parkway forms the eastern edge of this Center. The northern end of the Center is Beesley's Point, which includes a Generating Facility, a highly visible element of the landscape as one travels south on the GSP over the Great Egg Harbor River. There is a municipal beach and boat launch at this northern terminus. The Tuckahoe Inn, a historic building now serving as a restaurant and the Beesley's Point Seadoo represent the few commercial uses at this northern end of the Township.





Marmora is centered at the Route 9 and Route 623 intersection. There are a public primary school and elementary school in Marmora north of Route 623, recreational facilities, a Fire Station plus other quasi-public institutions including houses of worship. Along Route 623 and southward, there is a mixed of retail commercial and office/service uses including a large Verizon office facility and a number of auto dealerships on either side of the corridor, together with banks, a new Super Wawa, gas stations, medical and business offices,

the Marmora Post Office and other uses. Most of the retail facilities are small one-story buildings. There are three private campgrounds and the Pine Hill Mobile Home Park located within the Center; all have access to Route 9.

Palermo is the third distinct area of this Center, located at the southern end and is primarily residential development.

Marmora area of the larger center is the core of this portion of the Township and one of the two focus areas for our study. The Marmora Town Center has opportunities for infill development. The area at the Route 623/Route 9 intersection in Marmora is the future ‘core’ of this Center. Currently within the core are retail, restaurants, light industrial/storage uses, car dealerships, two motels, gas stations, and civic uses. The recent closure of the car dealerships at Marmora provides a potential opportunity for private redevelopment on three key properties at the Tuckahoe Road and Route 9 intersection. There are other vacant lands and underutilized properties that may likewise be privately redeveloped with the designation of this Center.



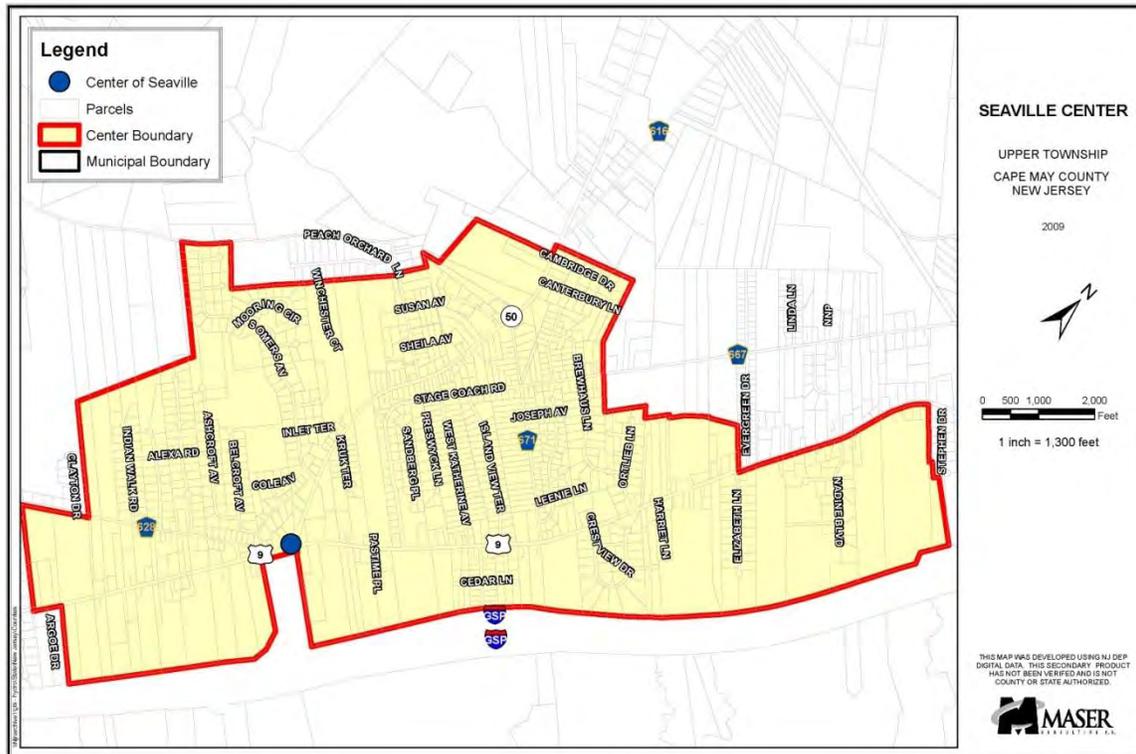
This area is not currently conducive to pedestrian activity and is not a ‘walkable’ Center. There are limited sidewalk sections in the Center; an overall pedestrian sidewalk plan is needed. There are no integrated design elements that visually coordinate the diverse buildings in the Center. Signage for most uses is of excessive size and is auto-oriented. Most of the development is in scale and setback from the roads with parking in front. There are limited or no interconnections between uses and most are directly accessed via Route 9. Changes in land use, circulation, area and bulk standards and design standards are needed to create a Center that will meet the Township’s goals.

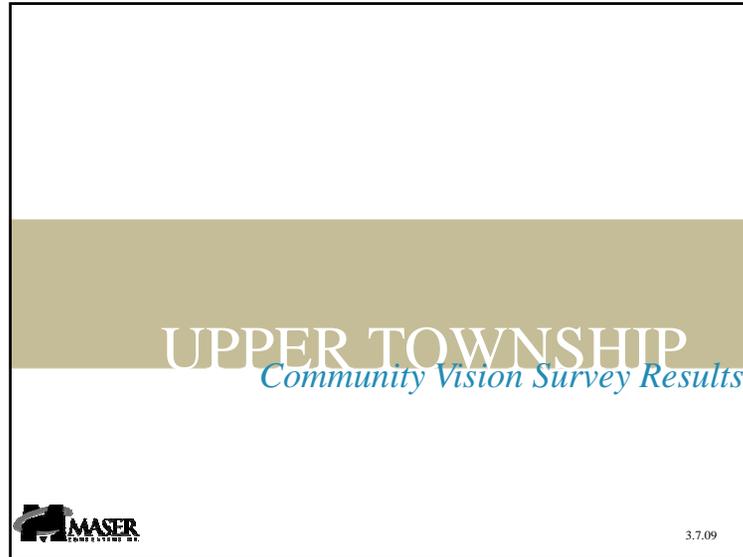
Seaville Center

The Seaville Center totals 1,800 acres or 2.9 square miles in area. Currently there are about 3,300 persons living within the boundaries of the Center. The Seaville Town Center is centered at the Route 50 and Route 9 intersection, which is the focus of the study. Exit 20 of the GSP provides only southbound exit and entrance ramps to the Parkway at this point. The Center is focused along the Route 9 corridor with commercial development west from Route 9 along Route 50. There is shopping center north of the Route 50 with an Acme supermarket and other retail commercial/service uses. Residential neighborhoods are on either side of Route 9. There are some commercial lots that have older structures that are underutilized for the area and will eventually be privately redeveloped. There are two campgrounds and three mobile home parks within the Center.



At the core of the Seaville Town Center there are lands within this area which are vacant or marginally developed. It is expected that properties will be privately redeveloped and likely lots combined to create suitable development opportunities. The Seaville Fire Company is a civic anchor along Route 50 in the Center.





The results of the March 7, 2009 workshop are contained in this document.

Participants were asked to rate the images they saw on how **appropriate** they were for the future of the Town Centers of Seaville and Marmora. Residents were asked to rate each image from -5 to +5.

- Negative numbers represent that the image is **not** appropriate for the future of the Town Centers.
- A zero means that the participant was **indifferent** to the image.
- Positive numbers indicate that the image was **appropriate** for the future of the Town Centers.

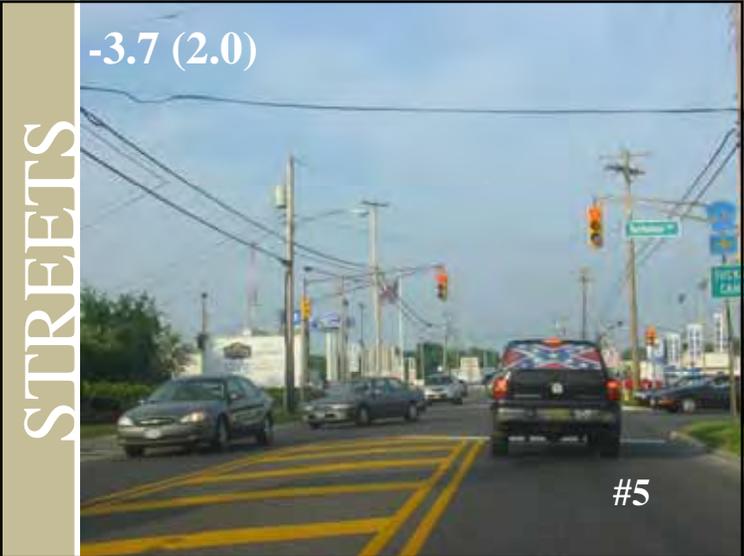
The six highest and six lowest images are shown first. They represent the six images that are **most appropriate** according to the participants for the future of Seaville and Marmora. The lowest ranked numbers represent the six images that were determined to be **completely inappropriate** for the Centers.

Finally, the results for each image shown during the Community Vision Survey are included by category, ranked from highest to lowest.

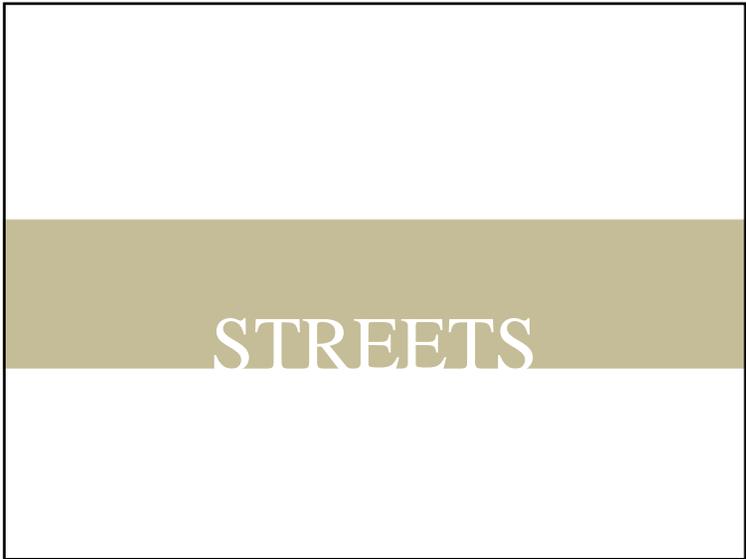
The numbers show both the average and the standard deviation. For example 2.5 (2.0) means that the image received an average level of appropriateness of +2.5, with responses that varied from +1.5 to a +4.5. This image would then be used to guide the consultants as they develop the Form-Based Code.













1.1 (2.9)



#12

1.1(2.8)



#13

0.8 (2.7)

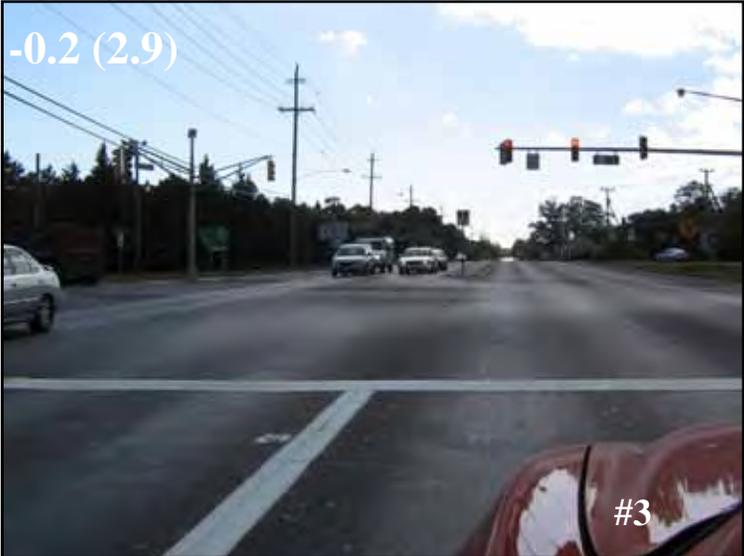


#15

0.6 (2.5)



#4





PEDESTRIAN REALM



2.7 (2.5)



2.2 (1.7)



2.1 (2.1)















SIGNAGE





0.1 (2.7)



#45

-0.9 (3.4)

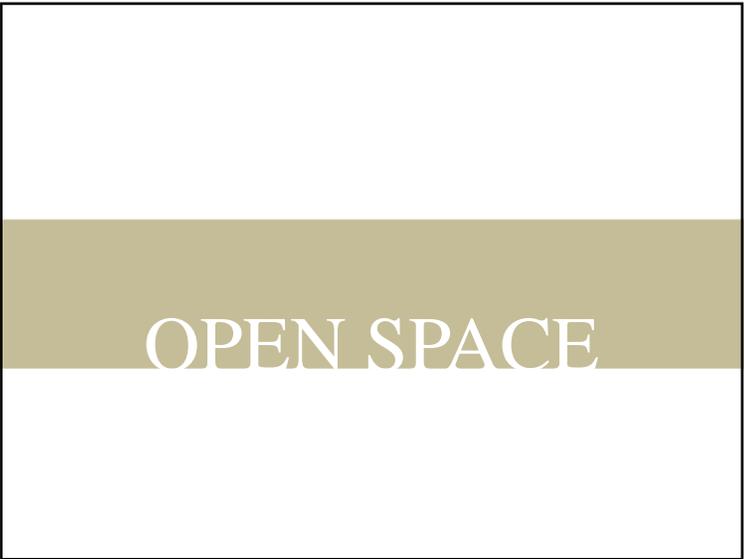


#50

-2.3 (2.8)



#52



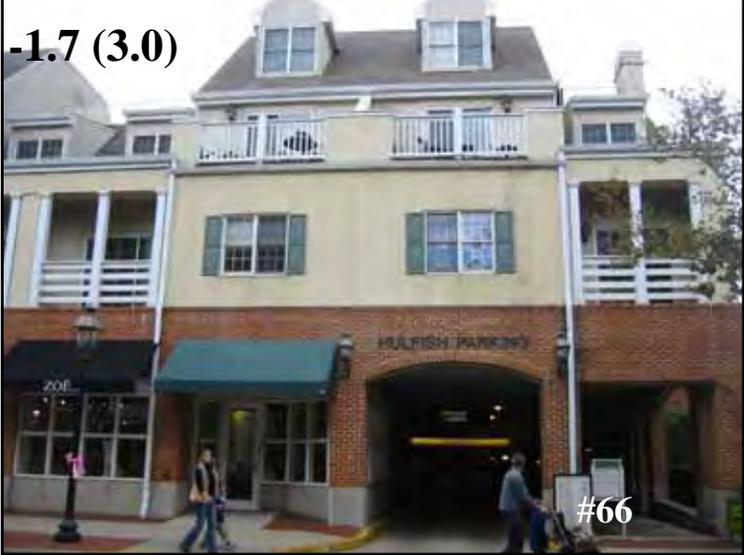




PARKING







AMENITIES







0.9 (3.0)



UPPER TOWNSHIP COMMUNITY QUESTIONNAIRE RESULTS

In three words, describe Upper Township:

1. **Safe**
2. **Quiet**
3. **Rural**

- Petersburg **14 or 16.1%**
- Tuckahoe **7 or 8.0%**
- Other **12 or 13.8%**

In three words, describe the characteristics of a community you would like to live in:

1. **Safe**
2. **Attractive**
3. **Convenient**

5. If a resident of Upper, how many years have you lived in the Township?

- Less than 1 year **1 or 1.1%**
- 1-4 years **3 or 3.4%**
- 5-10 years **11 or 12.6%**
- 11-15 years **6 or 6.9%**
- More than 15 years **59 or 67.8%**
- N/A **7 or 8.0%**

Demographics

1. What is your gender?

- Female **35 or 40%**
- Male **52 or 60%**

6. How many people, including yourself, live in your household?

- 1 **7 or 8.0%**
- 2 **28 or 32.1%**
- 3 **22 or 25.3%**
- 4 **20 or 23.0%**
- 5 or more **7 or 8.0%**
- N/A **3 or 3.4%**

2. How old are you?

- 17 or younger **0 or 0%**
- 18-34 **5 or 5.7%**
- 35-52 **40 or 50.0%**
- 52-69 **35 or 40.2%**
- 70 or older **7 or 8.1%**

7. What is your current living arrangement?

- Condo **4 or 4.6%**
- Apartment **0 or 0%**
- Townhouse **0 or 0%**
- Single-family attached **10 or 11.5%**
- Single-family detached **69 or 79.3%**
- N/A **3 or 3.4%**

3. What is your primary affiliation with Upper Township?

- Elected Official **0 or 0%**
- Business Owner **5 or 5.7%**
- Resident **71 or 81.6%**
- Other **11 or 12.6%**

4. If a resident of Upper, where do you live?

- Beesley's Point **10 or 11.5%**
- Palermo **9 or 10.3%**
- Marmora **14 or 16.1%**
- Seaville **21 or 24.1%**

8. Do you rent or own your living unit?

- Own your home **84 or 96.6%**
- Rent your home **0 or 0%**
- N/A **3 or 3.4%**

9. How often do you go into or stop at the Marmora Center or Seaville Center?

- Daily **18 or 20.7%**
- 3-6 times a week **35 or 40.2%**
- 1-2 times a week **20 or 23.0%**
- 1-2 times a month **10 or 11.5%**
- N/A **3 or 3.4%**

10. What activities do you do in Marmora or Seaville Center (mark all that apply)?

- Shopping **75 or 51.7%**
- Business **34 or 23.4%**
- Recreation **24 or 16.6%**
- Other **8 or 5.5%**
- N/A **4 or 2.8%**

Parks and Open Space

1. Please rate the aesthetic quality of Upper Township's parks?

- Excellent **21 or 24.1%**
- Good **27 or 31.0%**
- Fair **27 or 31.0%**
- Poor **6 or 6.9%**
- Don't know **5 or 5.7%**
- N/A **1 or 1.1%**

2. If new development plans were to incorporate open space within the Marmora and Seaville Centers, which of the following actions would you support (Check all that apply)?

- Creating walking and cycling trails **68 or 37.6%**
- Creating a central green with a gazebo and other amenities **48 or 26.5%**
- Creating a community playground **24 or 13.3%**

- Creating a community paved plaza with water fountain or amphitheater **36 or 19.9%**
- N/A **5 or 2.7%**

Transportation and Mobility

1. Do you work in the Marmora or Seaville Town Centers?

- Yes **18 or 20.7%**
- No **67 or 77.0%**
- N/A **2 or 2.3%**

2. How do you get to work?

- Walk **1 or 1.1%**
- Bike **0 or 0%**
- Carpool **3 or 3.4%**
- Drive alone **70 or 80.4%**
- Other: Work at Home **5 or 5.7%**
- Other: Retired **2 or 2.3%**
- N/A **6 or 10.3%**

3. How long is your average commute?

- 0 – 10 minutes **38 or 43.7%**
- 11 – 30 minutes **24 or 27.6%**
- 31 – 60 minutes **12 or 13.8%**
- 60 + minutes **4 or 4.6%**
- N/A **9 or 10.3%**

4. Is traffic congestion a problem in Marmora?

- Yes **67 or 77.0% - Summer time and at Route 9 and Roosevelt Blvd.**
- No **18 or 20.7%**
- N/A **2 or 2.3%**

5. Is traffic congestion a problem in Seaville?

- Yes **29 or 33.3% - Summer time and crosswalks**
- No **54 or 62.1%**
- N/A **4 or 4.6%**

6. Which other modes of transportation would you be willing to use to travel to work? (Check all that apply)

- Walk **11 or 10.7%**
- Bike **24 or 23.3%**
- Carpool **22 or 21.4%**
- Bus **19 or 18.4%**
- N/A **27 or 26.2%**

7. If new transportation systems were to be built, which of the following types are appropriate for potential new development in Marmora or Seaville?

- A strong emphasis on walking with sidewalks **47 or 30.3%**
- Bike trails/lanes **56 or 36.1%**
- Relying solely on the automobile **11 or 7.1%**
- Park-n-Ride lot **7 or 4.5%**
- Transit – bus, shuttles, etc. **30 or 19.4%**
- N/A **4 or 2.6%**

Economic Development and Physical Transformation

1. Do you feel new development in Marmora and Seaville would be beneficial to the economic development of Upper Township?

- Yes **66 or 75.9%**
- No **3 or 3.4%**
- Maybe **8 or 9.2%**
- Don't know **4 or 4.6%**
- N/A **6 or 6.9%**

2. If the new development in the designated centers of Marmora and Seaville created an exciting, vibrant, and dynamic environment with great new housing options and parks, would you consider living there?

- Yes **29 or 33.3%**
- No **37 or 42.5%**
- Maybe **15 or 17.2%**
- Don't know **4 or 4.6%**
- N/A **2 or 2.3%**

3. If the new development in Marmora and Seaville Town Centers included all the types of structures and amenities in the pictures you rated positively (+1 to +10) on the Community Vision Survey, would you consider living there?

- Yes **27 or 31.0%**
- No **35 or 40.2%**
- Maybe **13 or 14.9%**
- Don't know **6 or 6.9%**
- N/A **6 or 6.9%**

4. If the new development in Marmora and Seaville Town Centers included all the types of structures and amenities in the pictures you rated positively on the Community Vision Survey, would you consider shopping there?

- Yes **61 or 70.1%**
- No **8 or 9.2%**
- Maybe **9 or 10.3%**
- Don't know **3 or 3.4%**
- N/A **6 or 6.9%**

Existing Physical Characteristics

1. How do you rate each of the following aspects of **Marmora Town Center**?

	Excellent	Good	Fair	Poor	No Opinion	N/A
Visual Character	2 or 2.3%	11 or 12.6%	24 or 27.6%	42 or 48.3%	1 or 1.1%	7 or 8.0%
# of Shopping Options Available	1 or 1.1%	10 or 11.5%	21 or 24.1%	48 or 55.2%	2 or 2.3%	5 or 5.7%
# of Dining Options Available	1 or 1.1%	10 or 11.5%	18 or 20.7%	52 or 59.8%	1 or 1.1%	5 or 5.7%
Open Spaces	3 or 3.4%	6 or 6.9%	17 or 19.5%	48 or 55.2%	4 or 4.6%	9 or 10.3%
Landscaping	1 or 1.1%	9 or 10.3%	20 or 23.0%	50 or 57.5%	1 or 1.1%	6 or 6.9%
Walkability	2 or 2.3%	3 or 3.4%	12 or 13.8%	58 or 66.7%	3 or 3.4%	9 or 10.3%
# of Recreational Activities Available	3 or 3.4%	5 or 5.7%	17 or 19.5%	45 or 51.7%	10 or 11.5%	7 or 8.0%
Traffic flow (during peak hours)	1 or 1.1%	8 or 9.2%	20 or 23.0%	52 or 59.8%	1 or 1.1%	5 or 5.7%
Public Transportation	1 or 1.1%	1 or 1.1%	3 or 3.4%	60 or 69.0%	15 or 17.2%	7 or 8.0%

2. How do you rate each of the following aspects of **Seaville Town Center**?

	Excellent	Good	Fair	Poor	No Opinion	N/A
Visual Character	3 or 3.4%	8 or 9.2%	25 or 28.7%	43 or 49.4%	2 or 2.3%	6 or 6.9%
# of Shopping Options Available	2 or 2.3%	9 or 10.3%	43 or 49.4%	25 or 28.7%	2 or 2.3%	6 or 6.9%
# of Dining Options Available	2 or 2.3%	10 or 11.5%	42 or 48.3%	23 or 26.4%	3 or 3.4%	7 or 8.0%
Open Spaces	5 or 5.7%	9 or 10.3%	17 or 19.5%	43 or 49.4%	5 or 5.7%	8 or 9.2%
Landscaping	3 or 3.4%	8 or 9.2%	20 or 23.0%	47 or 54.0%	3 or 3.4%	6 or 6.9%
Walkability	2 or 2.3%	4 or 4.6%	14 or 16.1%	56 or 64.3%	5 or 5.7%	6 or 6.9%
# of Recreational Activities Available	3 or 3.4%	6 or 6.9%	14 or 16.1%	49 or 56.3%	10 or 11.5%	5 or 5.7%
Traffic flow (during peak hours)	2 or 2.3%	22 or 25.3%	26 or 29.9%	28 or 32.2%	3 or 3.4%	6 or 6.9%
Public Transportation	3 or 3.4%	1 or 1.1%	4 or 4.6%	55 or 63.2%	17 or 19.5%	7 or 8.0%

Housing

1. Please review the following development options. If new housing were to be built, are the following living units appropriate or inappropriate for potential new housing construction in the **Marmora Town Center**?

	Appropriate	Somewhat Appropriate	Neutral	Somewhat Inappropriate	Inappropriate	N/A
Mixed use development (i.e., residential containing lofts and apartments above commercial)	25 or 28.7%	26 or 29.9%	9 or 10.3%	8 or 9.2%	13 or 14.9%	6 or 6.9%
Multi-family Housing (i.e. apartments or condos)	15 or 17.2%	12 or 13.8%	5 or 5.7%	15 or 17.2%	32 or 36.8%	8 or 9.2%
Duplexes	11 or 12.6%	20 or 23.0%	15 or 17.2%	7 or 8.0%	21 or 24.1%	13 or 14.9%
Townhouses	19 or 21.8%	32 or 36.8%	9 or 10.3%	8 or 9.2%	11 or 12.6%	8 or 9.2%
Single-family Homes	40 or 46.0%	14 or 16.1%	8 or 9.2%	5 or 5.7%	16 or 18.4%	4 or 4.6%

2. Please review the following development options. If new housing were to be built, are the following living units appropriate or inappropriate for potential new housing construction in the **Seville Town Center**?

	Appropriate	Somewhat Appropriate	Neutral	Somewhat Inappropriate	Inappropriate	N/A
Mixed use development (i.e., residential containing lofts and apartments above commercial)	27 or 31.0%	20 or 23.0%	13 or 14.9%	7 or 8.0%	13 or 14.9%	7 or 8.0%
Multi-family Housing (i.e. apartments or condos)	16 or 18.4%	11 or 12.6%	10 or 11.5%	14 or 16.1%	29 or 33.3%	7 or 8.0%
Duplexes	15 or 17.2%	22 or 25.3%	15 or 17.2%	6 or 6.9%	17 or 19.5%	12 or 13.8%
Townhouses	22 or 25.3%	29 or 33.3%	9 or 10.3%	8 or 9.2%	10 or 11.5%	9 or 10.3%
Single-family Homes	35 or 40.2%	19 or 21.8%	7 or 8.0%	5 or 5.7%	15 or 17.2%	6 or 6.9%

Commercial and Retail

1. Please review the following development options. If new commercial uses were to be built, are the following types appropriate or inappropriate for potential new commercial construction in **Marmora Town Center**?

	Appropriate	Somewhat Appropriate	Neutral	Somewhat Inappropriate	Inappropriate	N/A
Large grocery store (e.g., Stop and Shop)	62 or 71.2%	3 or 3.4%	6 or 6.9%	4 or 4.6%	8 or 9.2%	4 or 4.6%
Organic grocery store	43 or 49.4%	14 or 16.1%	15 or 17.2%	2 or 2.3%	4 or 4.6%	9 or 10.3%
Large scale box retail (e.g., Target, Wal-Mart, Home Depot)	34 or 39.1%	14 or 16.1%	10 or 11.5%	6 or 6.9%	18 or 20.7%	5 or 5.7%
Small boutique retail	52 or 59.8%	16 or 18.4%	10 or 11.5%	1 or 1.1%	1 or 1.1%	7 or 8.0%
Hotel	21 or 24.1%	19 or 21.8%	15 or 17.2%	8 or 9.2%	16 or 18.4%	8 or 9.2%
Bed and breakfast	30 or 34.5%	15 or 17.2%	14 or 16.1%	11 or 12.6%	13 or 14.9%	4 or 4.6%
Chain restaurant (e.g., Applebee's, Friday's, Olive Garden)	43 or 49.4%	18 or 20.7%	8 or 9.2%	6 or 6.9%	7 or 8.0%	5 or 5.7%
Locally owned, non franchised restaurants	69 or 79.3%	8 or 9.2%	4 or 4.6%	2 or 2.3%	0 or 0%	4 or 4.6%
Drug store	46 or 52.9%	15 or 17.2%	9 or 10.3%	3 or 3.4%	8 or 9.2%	6 or 6.9%
Book store	65 or 74.7%	13 or 14.9%	3 or 3.4%	1 or 1.1%	2 or 2.3%	3 or 3.4%
Coffee shops	65 or 74.7%	9 or 10.3%	4 or 4.6%	2 or 2.3%	3 or 3.4%	4 or 4.6%
Movie theater	35 or 40.2%	13 or 14.9%	13 or 14.9%	9 or 10.3%	13 or 14.9%	4 or 4.6%
Entertainment facilities (bars, lounges, neighborhood taverns)	23 or 26.4%	18 or 20.7%	15 or 17.2%	7 or 8.0%	19 or 21.8%	5 or 5.7%
Health club	40 or 46.0%	19 or 21.8%	13 or 14.9%	2 or 2.3%	6 or 6.9%	7 or 8.0%
Professional/Commercial Offices	46 or 52.9%	20 or 23.0%	9 or 10.3%	2 or 2.3%	5 or 5.7%	5 or 5.7%
Bank	48 or 55.2%	15 or 17.2%	9 or 10.3%	3 or 3.4%	9 or 10.3%	3 or 3.4%
Gas Station	44 or 50.6%	12 or 13.8%	15 or 17.2%	4 or 4.6%	8 or 9.2%	4 or 4.6%
Bakery	63 or 72.4%	12 or 13.8%	4 or 4.6%	1 or 1.1%	2 or 2.3%	7 or 8.0%
Personal Service Establishments (hair salon, massage, etc.)	57 or 65.5%	11 or 12.6%	9 or 10.3%	2 or 2.3%	4 or 4.6%	4 or 4.6%
Banks/Financial Institutions	50 or 57.5%	13 or 14.9%	9 or 10.3%	2 or 2.3%	9 or 10.3%	4 or 4.6%

Municipal Uses	24 or 27.6%	24 or 27.6%	13 or 14.9%	7 or 8.0%	15 or 17.2%	4 or 4.6%
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2. Please review the following development options. If new commercial uses were to be built, are the following types appropriate or inappropriate for potential new commercial construction in **Seaville Town Center**?

	Appropriate	Somewhat Appropriate	Neutral	Somewhat Inappropriate	Inappropriate	N/A
Large grocery store (e.g., Stop and Shop)	49 or 56.3%	6 or 6.9%	7 or 8.0%	9 or 10.3%	11 or 12.6%	5 or 5.7%
Organic grocery store	38 or 43.7%	22 or 25.3%	9 or 10.3%	3 or 3.4%	5 or 5.7%	10 or 11.5%
Large scale box retail (e.g., Target, Wal-Mart, Home Depot)	35 or 40.2%	18 or 20.7%	11 or 12.6%	5 or 5.7%	14 or 16.1%	4 or 4.6%
Small boutique retail	50 or 57.5%	22 or 25.3%	7 or 8.0%	1 or 1.1%	3 or 3.4%	4 or 4.6%
Hotel	25 or 28.7%	16 or 18.4%	19 or 21.8%	9 or 10.3%	13 or 14.9%	5 or 5.7%
Bed and breakfast	29 or 33.3%	20 or 23.0%	14 or 16.1%	8 or 9.2%	13 or 14.9%	3 or 3.4%
Chain restaurant (e.g., Applebee's, Friday's, Olive Garden)	47 or 54.0%	17 or 19.5%	8 or 9.2%	3 or 3.4%	9 or 10.3%	3 or 3.4%
Locally owned, non franchised restaurants	61 or 70.1%	11 or 12.6%	5 or 5.7%	4 or 4.6%	1 or 1.1%	5 or 5.7%
Drug store	45 or 51.7%	16 or 18.4%	8 or 9.2%	3 or 3.4%	10 or 11.5%	5 or 5.7%
Book store	59 or 67.8%	18 or 20.7%	4 or 4.6%	1 or 1.1%	2 or 2.3%	3 or 3.4%
Coffee shops	56 or 64.3%	15 or 17.2%	8 or 9.2%	1 or 1.1%	4 or 4.6%	3 or 3.4%
Movie theater	36 or 41.4%	10 or 11.5%	7 or 8.0%	15 or 17.2%	14 or 16.1%	5 or 5.7%
Entertainment facilities (bars, lounges, neighborhood taverns)	24 or 27.6%	18 or 20.7%	14 or 16.1%	11 or 12.6%	17 or 19.5%	3 or 3.4%
Health club	38 or 43.7%	12 or 13.8%	16 or 18.4%	4 or 4.6%	8 or 9.2%	1 or 1.1%
Professional/Commercial Offices	41 or 47.15	21 or 24.1%	9 or 10.3%	4 or 4.6%	4 or 4.6%	8 or 9.2%
Bank	42 or 48.3%	16 or 18.4%	8 or 9.2%	3 or 3.4%	10 or 11.5%	8 or 9.2%
Gas Station	39 or 44.8%	15 or 17.2%	11 or 12.6%	3 or 3.4%	10 or 11.5%	9 or 10.3%

Bakery	53 or 60.9%	14 or 16.1%	7 or 8.0%	2 or 2.3%	2 or 2.3%	9 or 10.3%
Personal Service Establishments (hair salon, massage, etc.)	47 or 54.0%	12 or 13.8%	13 or 14.9%	1 or 1.1%	5 or 5.7%	9 or 10.3%
Banks/Financial Institutions	43 or 49.4%	15 or 17.2%	9 or 10.3%	2 or 2.3%	10 or 11.5%	9 or 10.3%
Municipal Uses	30 or 34.4%	12 or 13.8%	15 or 17.2%	5 or 5.7%	15 or 17.2%	10 or 11.5%

Comments

1. What do you think are the biggest obstacles to creating a dynamic and desirable community in the Marmora and Seaville Centers?

Traffic, full interchanges, people are afraid of change, infrastructure.

2. What are your attitudes toward mass transit in Upper Township? What type of transportation options would you like to see in the future of Upper, if any?

Not necessary, country transit service, shuttles to destination points.

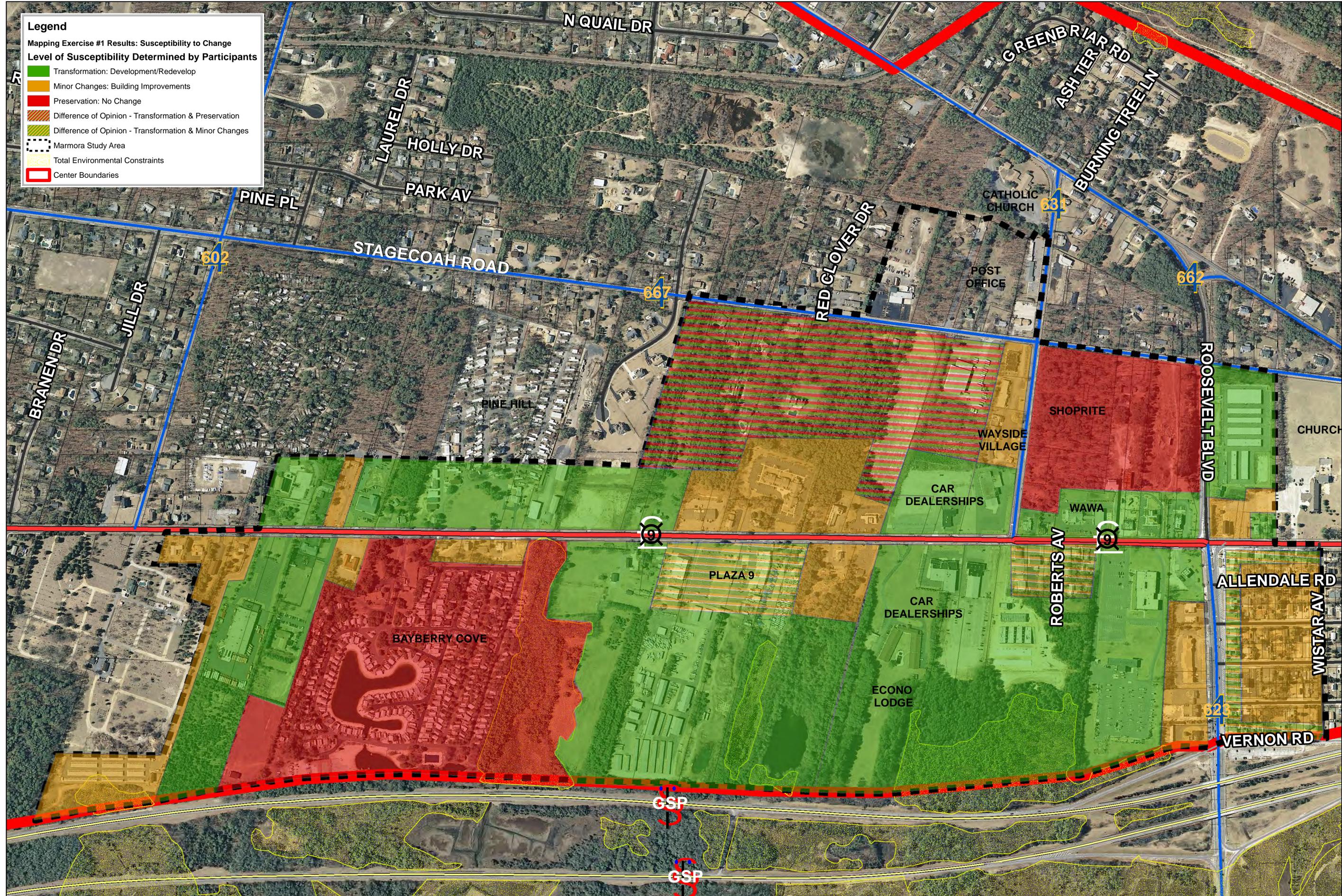
3. Other comments?

Upper Township could be a model community for other municipalities, sustainability should be considered, ratables are needed.

Legend

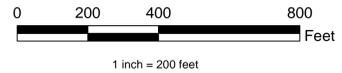
Mapping Exercise #1 Results: Susceptibility to Change
 Level of Susceptibility Determined by Participants

- Transformation: Development/Redevelop
- Minor Changes: Building Improvements
- Preservation: No Change
- Difference of Opinion - Transformation & Preservation
- Difference of Opinion - Transformation & Minor Changes
- Marmora Study Area
- Total Environmental Constraints
- Center Boundaries



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April 2009

Marmora Workshop Results
 Mapping Exercise #1:
 Susceptible to Change Results

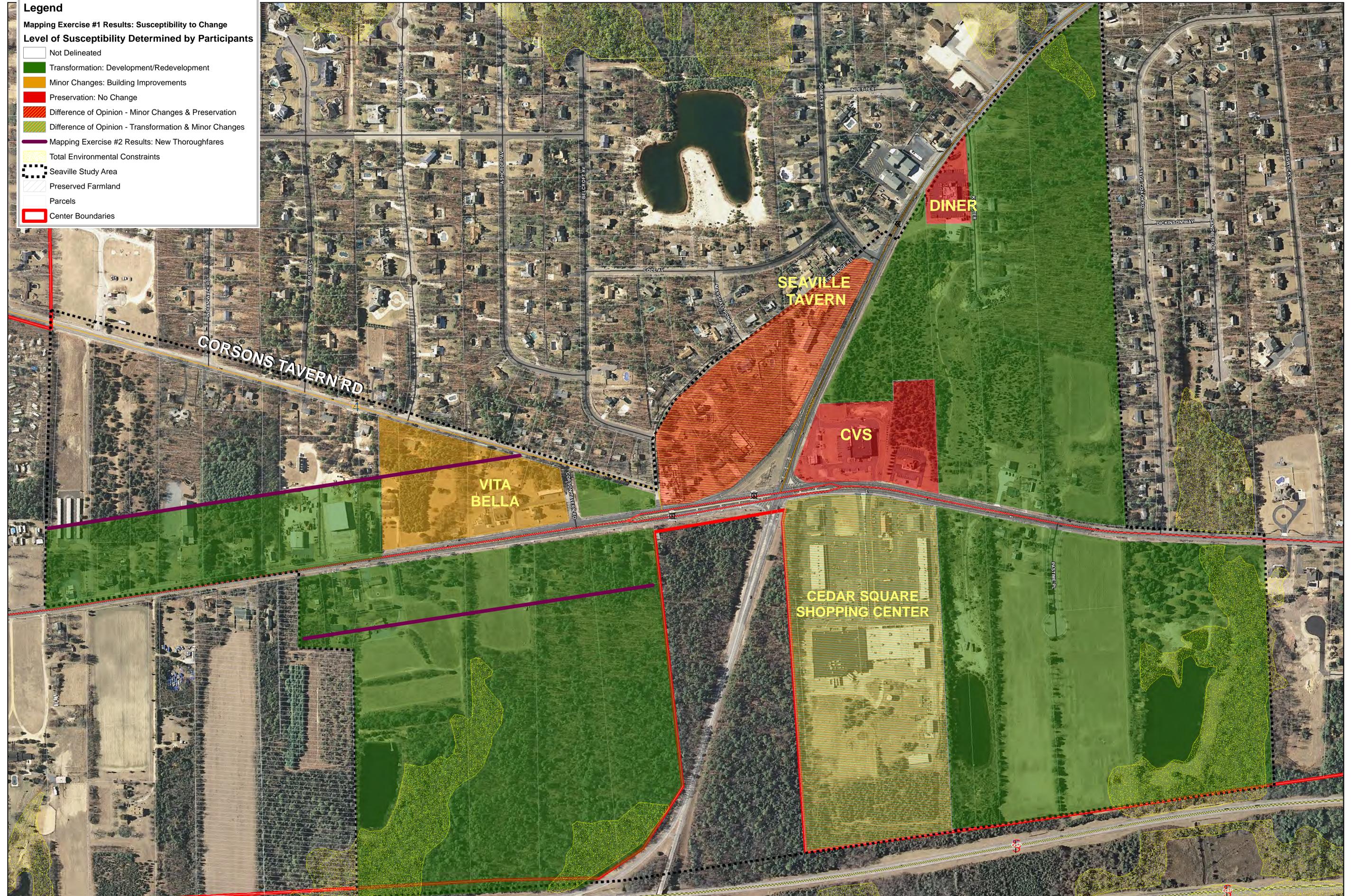
Township of Upper Cape May County New Jersey

Legend

Mapping Exercise #1 Results: Susceptibility to Change

Level of Susceptibility Determined by Participants

- Not Delineated
- Transformation: Development/Redevelopment
- Minor Changes: Building Improvements
- Preservation: No Change
- Difference of Opinion - Minor Changes & Preservation
- Difference of Opinion - Transformation & Minor Changes
- Mapping Exercise #2 Results: New Thoroughfares
- Total Environmental Constraints
- Seaville Study Area
- Preserved Farmland
- Parcels
- Center Boundaries



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